



# RECREATION MASTER PLAN

June 2009



Architects  
Engineers

# 25295



Town of Turner Valley

## RECREATION MASTER PLAN

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REPORT

JUNE 2009



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## PREAMBLE

Recreation Master Plans are a municipal requirement to be drafted every 5 years. The intent of a Recreation Master Plan is to guide future development of recreation facilities and amenities in response to changing community needs and goals. Typically, Recreation Master Plans are written to guide development over a 5 year period until a new master plan is again prepared, although longer-term recreation goals are commonly discussed.

As with all master plans, a Recreation Master Plan is considered a 'high-level' planning document. That is, the plan broadly defines future growth trends and demand for new recreation facilities, identifies priorities for development and their recommended general locations and timing. The funding available to prepare a Recreation Master Plan will affect the details of the proposed future facility recommendations particularly near-term capital costing estimates and concept plan development of specific recreation sites. Many recreation master plans can range in costs from \$50,000 to \$75,000 and take up to a year to complete. Other more detailed plans such as a pathways and trails master plan document; concept or development plans for a specific park and the location and costs of tot lots required in new subdivisions are the purview of other "lower level" planning documents such as Area Structure Plans, pathways design guidelines and concept plans that are site-specific in nature, and prepared to attain funding approval by Council.

The \$19,000 in funds available to conduct the entire Recreation Master Plan for the Town of Turner Valley required a modified approach to preparation of the plan. For instance, rather than in-depth one-to-one interviews, the consultants were required to rely on the insights of knowledgeable residents, Town staff and members of the Parks and Pathways Recreation Committee (PPRC) to prepare the plan as well as accept that consultation with the public would be limited to the efforts of the PPRC group's survey and open house.

The Turner Valley Recreation Master Plan document is comprised of the major components of a master plan: the needs assessment; the inventory; the resolution of demand versus supply (i.e., the 'plan'; and recommendations for timing and location of key recreational amenities and facilities in the near-term.



*The Turner Valley Gas Plant is an iconic feature in the Town and popular with visitors. Informal pathways adjacent to the site are common.*

## 1. INTRODUCTION

### 1.1 Background

The Town of Turner Valley is a small, close-knit community, located in south-central Alberta, approximately one hour southwest of downtown Calgary. The oil and gas industry as well as its position on the 'Cowboy Trail' has shaped the Town of Turner Valley. The Town is a diverse mixture of age groups and socio-economic backgrounds. The Town's strong community values of cooperation, sustainability, promoting community development and creating increased opportunities for residents are reflected in the planning environment in Turner Valley.

The Town Council, through support from Administration, have recognized the need to undertake a Recreation Master Plan. The Recreation Master Plan (RMP) will complement the Town's Municipal Development Plan and support the Town's short and long-term vision and goals for the future.

The objectives of the Recreation Master Plan are:

- to engage stakeholders in the Plan process;
- to evaluate the current inventory for deficiencies;
- to conduct a needs assessment of existing unmet and projected future demand for recreation facilities;
- to determine the type of future recreation facilities needed in Turner Valley in ten and twenty years; and
- to make recommendations regarding future potential funding sources and any potential changes to the MDP arising from the Recreation Master Plan.

IBI Group was retained by the Town of Turner Valley to complete the Recreation Master Plan.

### 1.2 Approach Overview

The approach undertaken in completing the Recreation Master Plan involved five major study phases or tasks. The approach is modeled after an economic supply/demand analysis. These tasks include:

- an inventory of facilities – the 'supply' analysis;
- a needs assessment, including outreach to key stakeholders and benchmarking other municipalities, as part of the 'demand' analysis;
- create draft strategies and recommendations for future recreation amenities;
- consult with the community (Open House) regarding preliminary RMP proposed recommendations and directions; and
- revise the Plan and identify funding recommendations and implications for the Town's Municipal Development Plan.

Consultation with the Parks, Pathways and Recreation Committee (PPRC) was also a key component of the Recreation Master Plan process.

## 1.3 Structure of the Plan

The Recreation Master Plan is structured similarly to an economic Supply/Demand Analysis or a Needs Assessment Study. That is, the Plan's recommendations arise from an understanding of the strengths, deficiencies and utilization of current facilities combined with benchmarking information and an evaluation of future demand. The Plan recommendations are categorized into four major policy directions: administration; facility; implementation; and, MDP/funding implications.

## 2. CURRENT INVENTORY

The Town of Turner Valley offers numerous recreational opportunities. As shown in Exhibit 1, the Town has several pathways, parks and facilities intended for the recreational use of its 1,900 residents, and for use by visitors. The inventory of these amenities constitutes the "supply" side of a supply/demand analysis. Its intent is also to identify deficiencies as well as indicate current (demonstrated) and potential demand for recreation services.

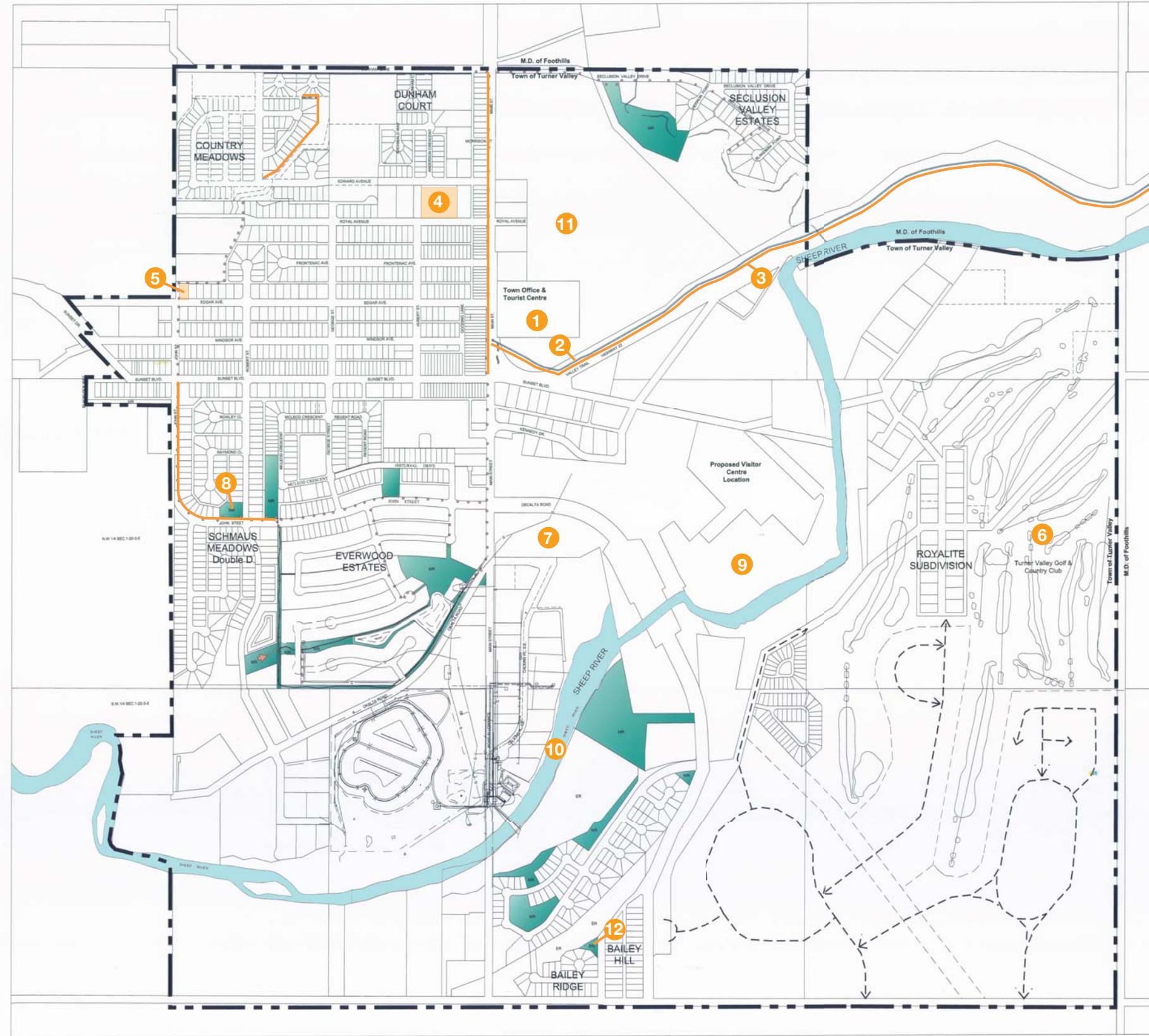
Exhibit 1 maps within Turner Valley a total of 12 major amenities which include the Flare 'N' Derrick Community Hall, the Dr. Lander Memorial Outdoor Swimming Pool as well as several parks, pathways and other day use areas for both residents and visitors. The Sheep River itself is also considered a significant recreational amenity.

Exhibit 2 details utilization and condition of major recreational facilities in the Town. As described, several recreation facilities in the current inventory of Turner Valley require moderate to high levels of improvement. For instance, the Flare 'N' Derrick Community Hall is in need of significant upgrades. The extent of these upgrades to the community centre as well as the Dr. Lander Memorial Outdoor Pool is detailed in Appendix A.

Key findings from the inventory analysis for Turner Valley include:

- the municipal pathways are discontinuous, do not constitute a system, and are not equitably distributed throughout the community;
- the major location near the Town offices is heavily utilized for recreational use including: the community hall; outdoor pool; outdoor rink/skateboard park; and campground;
- the Sheep River and immediately adjacent areas lack a connection to the pathways and also lack recreational amenities;
- there are only two outdoor fields (baseball and soccer) that are not part of a school yard;
- the designated soccer field located directly behind the Town office is not currently used due to poor condition; and
- there is also an absence of some common recreational amenities in Turner Valley that are typical of other smaller communities. These include: an arena with an ice rink; curling sheets; tennis court(s); and a small water park or other water-based feature such as a trout pond.

# Existing Municipal Parks, Paths and Recreation Areas



## Recreation Amenities

- 1 Outdoor rink
- 1 Ball Diamond
- 1 Dr. Lander Memorial Outdoor Swimming Pool
- 1 Hell's Half Acre Campground
- 1 Flare and Derrick Community Hall
- 2 Royalite Millennium Park
- 3 Friendship Trail
- 4 Turner Valley School
- 5 Edgar Avenue Playground
- 6 Semi-private golf course
- 7 River Bend Park - day use
- 8 Southwood Drive Playground
- 9 Gas Plant
- 10 Sheep River
- 11 Soccer field
- 12 Bailey Ridge Playground
- Municipal Reserve
- Future Proposed Road
- Existing paths

# Amenity Utilization and Condition Summary

Recreation Facilities	Description of Users (age, gender)	Origin of Users (local vs. MD or BD)	Time of Use (when it is used?)	Required Improvements	Comments
1. Hell's Half Acre Campground	all ages and genders	mostly out of town	seasonal, when open: May 1 – October 1	many – is being moved in approximately 2 years to "Riverbend Park"; needs accessible washrooms	will be relocated
2. Flare 'N' Derrick Hall	all ages and genders	TV, BD and MD; out of town use too	year round	total upgrades required, including accessibility	
3. Royalite Park, aka Millennium Park	all	all	seasonal, mostly summer	benches, picnic tables, washrooms, area information such as plaques	
4. Friendship Trail	all	mostly local (TV, BD & MD), some out of town	all hours, all year	more garbages, washrooms, and needs to connect to other trails	
5. Outdoor Rink - skateboard area in summer	kids mostly, 10 – 25 approximate age	local	all	better ice, sun shade, locker room/shack/benches	
6. Ball Diamond	occasional tournaments for youths and adults	mostly TV and BD	daylight; very seasonal; rarely used	bathrooms/accessible bathrooms	only softball due to set-up
7. Lander Pool	all	all	very seasonal	accessibility; needs a lot of maintenance	everybody would like an indoor pool
8. Turner Valley School Yard	kids – all ages	all local	year round	n/a	nicest playground in TV right now; school property
9. Playground at John & Edgar	<b>not used – needs major improvements</b>				
10. Semi-Private Golf Course	all	all – including Calgary and all areas	all day; golf season; also used for walking in off-season	this facility is run by the Golf Course	
11. Riverbend Park Day Use Area	?? – all signage has been removed				this will be location of campground in approx. 2 years; used as an off-leash area at present
12. Playground at Southwood	no information from PPR Committee				tot lot – not used much
13. Soccer Field	not used except by people with dogs				need sports coordinator to organize
14. Gas Plant	<b>closed</b>				owned by Province; discussion about museum and interpretive centre
15. Playground at Everwood	nothing presently				
16. Pathway at County Meadows	all ages	mostly locals	all	must connect to other paths	
17. Riverside Pathway at Gas Plant	all	locals	all/seasonal		needs parking for river access
18. Volleyball Area	all	locals	seasonal/daytime	benches/washrooms	
19. Robert Street Park & Pathway (Schmauss)	small kids use playground	locals	all	no dogs are allowed in this park, so people cannot walk through it on the path with dogs; pathway does not go anywhere	tot lot; would be a good place to attach to Everwood

### 3. RECREATIONAL NEEDS AND PREFERENCES ANALYSIS

#### 3.1 Needs Consultation and Benchmarking

The assessment of current recreational needs in the Town of Turner Valley is determined by a combination of results from consultation and survey efforts. The assessment of current needs also considers the “positioning” of Turner Valley relative to other comparably-sized communities across Alberta. The current recreational needs of Turner Valley residents are summarized in the following sub-sections.

##### 3.1.1 KEY INFORMANT INTERVIEWS

IBI Group engaged several area key informants in discussions regarding current recreational needs in Turner Valley. The discussions also asked key informants to identify recreational priorities. A description of the current recreational needs as identified by key informants and participants in the consultation process are summarized as follows:

- replacement of the Flare ‘N’ Derrick Community Hall is urgently needed (perhaps with a community multi-use facility);
- additional pathways are needed, especially paved paths that accommodate bike use and parents with strollers;
- create a more contiguous, interconnected system (particularly in new subdivisions and neighbourhoods without sidewalks) that links major focal points in the community together;
- upgrading, and eventual replacement of the swimming pool is desirable;
- expand recreational usage of the Sheep River amenity by developing pathways and day use/picnic areas along the river;
- expand recreational potential of the Reservoir area (to include: bocce area; beach volleyball; amphitheatre; access to water; picnic areas, etc.);
- improve signage as a means of improving usage of paths and day use areas by visitors; and
- promote better historical and cultural interpretation on Main Street (plaques, signage, small display areas, etc.).

##### 3.1.2 OPEN HOUSE AND RESIDENT SURVEY

The Turner Valley Pathways, Parks and Recreation Committee (PPRC) conducted an open house for residents of Turner Valley and area to discuss their needs and preferences for recreation facilities and services. The open house was held on the afternoon of Saturday, March 14<sup>th</sup> at the Flare ‘N’ Derrick and offered attractions for attendees including door prizes, wagon rides, light refreshments, and entertainment for children. Printed invitations to the open house were delivered to residents’ mailboxes several days before the open house. Approximately 100 residents attended the open house, reviewed presentation materials, and discussed their recreation needs and preferences with PPRC members in attendance.

Attendees were invited to complete a questionnaire (see Appendix B), and 69 questionnaires were completed and returned. Key findings from the analysis of that survey of open house attendees follow:

- The age distribution of open house attendees reflects the distribution of the adult population in Turner Valley with 25% of the respondents aged 21 to 35 years (compared to 18% of the population aged 21+ years); 20% of respondents were aged 35 to 50 (compared to 34% in the population); 35% of respondents were aged 50 to 65 (compared to 32% in the population); and 20% of respondents were aged 65+ (compared to 15% in the population). While the age 35 to 50 demographic is slightly under-represented, the recreation consuming younger and older cohorts are well-represented. This distribution gives confidence in the use of the open house and survey findings for recreation planning purposes.
- Respondents were asked to indicate the age distribution of household members. In total, responding households have 188 members, for an average of 2.27 persons per household. As expected, survey respondent households have a much higher proportion of younger household members than the Town population as a whole (for example, the 0 to 9 age cohorts represent 11% of the Town population, but 27% of the survey respondent household population). Again, this finding suggests that survey respondents are more likely than average Town residents to make use of recreational facilities and programs.
- Respondents were asked if any household members have mobility impairment, and 3% indicated that is the case. Suggested improvements to accommodate mobility impairments focused on path and walkway accessibility, the need for curb cuts and ramps, and in general the desire to ensure accessibility to all recreational facilities for those with mobility impairments, including parents with strollers.
- Respondents were asked to indicate the level of importance of various types of recreation facilities to members of their households. Most respondents indicated that pathways, parks, recreation facilities, and the swimming pool are of high importance to their households. To account for varying levels of response, a simple index score was calculated, which would yield a score of 100 if all respondents indicated a given element was of high importance. The calculated indexed importance scores are as follows:
  - pathways: 87
  - parks: 79
  - recreation facilities: 79
  - swimming pool: 77

These findings indicate that *recreation facilities in Turner Valley are of generally high importance to respondent household members, and that pathways are viewed as significantly more important than the other types of recreation facilities.*

- Respondents were asked what could or should be done to upgrade the existing swimming pool. Virtually all survey respondents provided suggestions for upgrading the pool:

- 42% of the suggested improvements were to cover, enclose, or develop a new indoor pool, with a preponderance of the comments suggesting an indoor, year-round facility
- 10% of the comments suggested maintaining the facility as is, or suggesting minor improvements in operation and maintenance
- 9% of respondents suggested the addition of specific amenities for young children, such as wading pool, kiddie section, etc.
- several other specific suggestions were also made, including items such as more seating, waterslide, improved change rooms, hot tub, more lockers
- Respondents were asked to indicate their opinion on the importance of extending the pathway system. Again, the majority of respondents indicated the extension of the pathway system was of high importance to them, with a calculated index score of 76 for extending the system. The great majority of suggested improvements (by 80% of respondents) are generally for expansion, extension and development of an integrated (i.e., continuous) pathway system. While individual respondents had numerous specific suggestions for locations of extension, the overall tenor of responses to this question was for development of an integrated pathway system.

Respondents' stated opinions on the *high importance of pathways* (see previous page) and their desire for *development of an integrated pathway system* (see above point) is the single most powerful finding from the survey of open house visitors.



*Neighbourhood pathways are important to Turner Valley residents.*

- Respondents were asked to indicate their opinion on the importance of improving parks. Again, the majority of respondents indicated park improvements as a high priority, with a calculated index score of 75 for making improvements. Respondents suggested numerous desired improvements to Turner Valley parks, which were summarized in the following groups:
  - 16% of respondents suggested adding more parks and expanding existing parks
  - 14% suggested adding amenities to parks such as washrooms, seating areas, picnic tables, trees and shrubs, drinking fountains, etc.
  - 12% of respondents suggested adding more playgrounds and children's play areas

- 12% suggested developing a picnic/day use area, and adding picnic facilities to other parks
- 9% suggested adding park space along the river
- 9% suggested extension of the pathway system to connect existing and future parks
- 6% suggested adding sports facilities to parks such as baseball, soccer, lawn bowling, bocce, skateboard, horseshoes
- approximately 25% of respondents made other specific suggestions for improvements, including improved maintenance, a dog park, water park, and expressing appreciation for current facilities.

In general, respondents expressed satisfaction with current parks but also a strong desire for expansion of park space and provision of additional amenities.

- Respondents were asked to indicate their opinion on the addition of recreational facilities. Just over half of all respondents indicated high importance for the addition of recreational facilities, with a calculated index score of 68. Although still a matter of high importance, this is the relatively lowest-ranked item on the survey.

Again, suggested additional recreational facilities were grouped by type, as follows:

- 23% of respondents suggested addition of an indoor swimming pool
- 16% of respondents suggested the addition of play courts or fields, such as basketball, floor hockey, tennis, soccer, outdoor volleyball, squash
- 10% of respondents suggested development of a multiplex recreation centre combining numerous recreational functions
- 9% suggested the development of a new water park or addition of water park facilities to the existing pool
- 6% suggested addition of playground facilities for children
- 6% suggested additional baseball diamonds
- 4% suggested expansion of the campground
- again, approximately 25% of respondents suggested various other specific additional facilities or made other comments. Examples of additional facilities include day use or picnic facilities, pathway extension, recreational activities and classes, movie theatre, public library, and some respondents suggested improved maintenance of existing facilities
- Respondents were asked to indicate their opinion on improved river access. Over half of respondents indicated improved river access was of high importance, with a calculated index score of 71. Numerous locations were suggested, with the most common being the vicinity of the Hell's Half Acre bridge (16%), and in the vicinity of the municipal reservoir (7%).

- Respondents were queried on which types of facilities they and family members actually use:
  - 92% indicated use of pathways (approximately 80% of respondents indicated they use the Friendship Trail)
  - 78% indicated use of parks
  - 77% indicated use of other recreational facilities (approximately 32% of respondents indicated that they used the swimming pool)

These are exceptionally high stated levels of use, indicating that the open house attendees are very familiar with recreational facilities – including deficiencies – in Turner Valley.

- Respondents were asked what future recreational facilities, developments or amenities they would like added to the Town of Turner Valley. Over 100 suggestions were made, and categorized under the following headings:
  - 58% of respondents indicated the desire for extension and improvement of the pathway system
  - 33% suggested development of a day use/picnic area, or addition of picnic facilities to existing parks
  - 23% suggested development of a multiplex recreation centre
  - 17% suggested significant improvement or development of a new swimming pool/water park
  - 10% suggested development of river access parks
  - 6% suggested additional or improved playgrounds for children
  - 6% suggested development of a dog walking area
  - 4% suggested improved park and historical signage
  - 4% suggested expansion/improvement of the campground

### 3.1.3 BENCHMARKING

A total of nine comparably sized Alberta towns were identified from the 2006 Census of Canada, and contacted to obtain information on their inventory of recreational facilities and amenities. The objective of this benchmarking approach was to determine the Town of Turner Valley's positioning relative to other communities of similar size. That is, what recreational advantages or disadvantages does Turner Valley have when other rural towns are comparatively examined. A geographic distribution across Alberta was also sought.

The nine communities interviewed include from largest 2006 population (2,500) to smallest (1,520) the following: Rimbey; Magrath; Nanton; Calmar; Vulcan; Valleyview; Bow Island; Picture Butte; and Coalhurst. The results of the benchmarking data collection are summarized in Exhibit 3. The major findings are as follows:

## Recreational Facility Benchmarks

RECREATION	Turner Valley	Rimley	Magrath	Nanton	Calmar	Vulcan	Valleyview	Bow Island	Picture Butte	Coalhurst
<b>2008 Population</b>	<b>2,020</b>	<b>2,500</b>	<b>2,250</b>	<b>2,060</b>	<b>1,990</b>	<b>1,940</b>	<b>1,880</b>	<b>1,870</b>	<b>1,590</b>	<b>1,520</b>
1. Municipal Campground	1	1	1	1	0	1	1	1	1	1
2. Community Hall/Centre	1	1	1	1	1	1	1	0	1	1
3. Major Town Park	1	1	1	1	1	1	1	1	1	1
4. Tot Lot/Playground (non-school)	4	5	2	4	1	4	4	3	2	2
5. Pathway System/Network	partial	partial	partial	yes	yes	partial	partial	partial	partial	no
6. Aquatic Centre	1	1	1	1	1	1	1	1	1	0
a. Indoor Pool	0	0	0	0	0	0	0	0	0	0
b. Outdoor Pool	1	1	1	1	0	1	1	1	1	0
c. Tot Pool / Splashpark	0	0	1	0	1	0	1	1	0	0
d. Diving Tank	0	0	1	0	0	1	1	1	1	0
7. Arena	0	1	1	1	1	1	1	1	1	0
a. # of ice sheets	0	1	1	1	1	1	1	1	1	0
b. # of curling sheets	0	4	3	3	1	3	4	2	4	0
c. # of multi-purpose	no	yes	yes	gym	1	yes	yes	multi-plex	teen room, judo	use community centre
d. # of racquet courts	0	2	2	1	0	1	0	0	0	0
8. Outdoor Rink - # of Sheets	1	2	0	0	1	1	0	1	0	1
9. Outdoor Fields	3	9	11	7	6	9	7	8	11	8
a. Baseball Diamond	1	4	5	4	4	3	4	3	5	4
b. Rectangular, e.g., soccer	1	4	5	1	2	4	1	4	4	3
c. Volleyball	1	0	0	1	0	1	1	1	1	0
d. Basketball	0	1	1	1	0	1	1	0	1	1
10. Gymnasium	1	2	2	2	2	1	5	1	2	2
a. Non-school	0	1	1	1	0	0	0	0	1	0
b. School	1	1	1	1	2	1	5	1	1	2
11. Skateboard Park	1	1	1	0	1	1	1	0	0	0
12. Golf Course	1	1	1	1	0	1	1	1	1	0
13. Off-Leash Dog Area	0	0	0	0	0	0	0	0	0	0
14. Tennis Courts	0	2	2	1	2	0	1	0	1	0
15. Recreation Coordinator	0	1	1	1	1	1	1	1	0	0
16. Other	Recreation Master Plan in preparation	600 seat auditorium	kids' fishing hole; running track; river park	day use area; gun range	rock climbing wall at skateboard park	day use area; fishing pond; rodeo grounds	trout pond; indoor riding arena; horseshoe pits	running track; street hockey courts	day use area; lake reservoir and walking trail	BMX track; horseshoe pits

- Turner Valley is consistent with the majority (75% or higher) of other communities in the provision of the following amenities:
  - municipal campground
  - community hall/centre
  - a partial pathway system
  - outdoor pool
  - outdoor ice rink
  - tot lots
  - golf course
  - school-based gyms
- Unlike other communities, Turner Valley does not have:
  - a tot pool
  - diving tank
  - ice arena (hockey/skating, curling sheets, multi-purpose rooms or racquet courts)
  - a useable soccer field
  - a non-school gymnasium
  - a recreation coordinator or director
  - tennis court

As part of the benchmarking process, municipal officials of several comparably sized communities were interviewed. With the exception of the County of Lethbridge which surrounds the Towns of Coalhurst and Picture Butte, all other Municipal Districts or Counties contribute to the ongoing costs of providing recreational amenities located in the communities surveyed. The Towns of Valleyview and Rimbey cost share 50% and 48% with their respective Counties in providing services offered at the ice arena and the outdoor pools. For instance, Valleyview user surveys conducted over the course of more than a year found that an average 2/3 of the arena and pool use was by County residents.

In the agreement signed in January of 2009, the County of Greenview agrees to pay 50% up to a maximum of \$95,000 for the arena. Also, like the communities of Edson and Hinton, the County of Greenview also contributes 50% to a maximum of \$60,000 for programming done by the Recreation Board in both the Town of Valleyview and the County. A copy of the agreement is provided in Appendix C.

## 3.2 Summary of Current Needs

The combined sources of information to determine current recreational needs in Turner Valley include stakeholder interviews, community survey results, public open house comments, and the findings from benchmarking with other municipalities. The conclusions derived from these information sources provide a measure of current recreational need in Turner Valley. That is, what recreational amenities should imminently be added to the community, renovated or expanded to accommodate existing unmet recreational needs in Turner Valley. The current recreational needs in the community are summarized as follows:

- The 20 inadequate campsites at the existing Hell's Half Acre Campground are scheduled for replacement. The Lion's Club has begun site work on a new municipal campground (see Exhibit 1) which will include 30 fully serviced campsites in the first year; an immediate increase of 10 camping sites. The new campground will be available year round versus the current schedule of May 1<sup>st</sup> to mid-October.
- Imminent need was expressed by all information sources for the expansion and surface improvement of the current pathway and trails system. Creation of a contiguous system that can be easily navigated by persons using strollers or bicycles was also an important unmet existing need. Due to the scope of the pathway system, it is anticipated that this development will be an on-going project.
- Data sources also strongly suggest the immediate near-term need for an indoor arena. For a community the size of Turner Valley, an expected recreational amenity is an indoor arena. Based largely on benchmarking results of comparably-sized communities, an arena in Turner Valley would be comprised of: one ice rink (skating, hockey); 2.8 curling sheets; 1.0 multi-purpose room; and, 0.6 racquet court.
- Imminent need was also identified for additional baseball diamonds in Turner Valley. Data sources indicate a total of 2.8 new baseball diamonds are needed to satisfy current demand.
- Similarly, there is existing need for additional outdoor rectangular sports fields (e.g., soccer). Data suggests that Turner Valley would be expected to have three such fields. At present, the currently designated soccer field located adjacent to the Town Office is in disrepair and cannot be used for sports. Need for repair of this field and an additional two fields is present currently in Turner Valley.
- Another imminent need determined from benchmarking research and consultation is for the creation of a tennis court. Data suggests need for 0.9 or realistically one entire outdoor tennis court.
- Finally, there is an imminent need for a 0.8 (part-time) recreation coordinator. There is, at present, no recreation coordinator for the Town of Turner Valley.

These imminent needs form, in part, the policy recommendations for the Recreation Master Plan described in Section 4.

## 3.3 Projected Growth

This section includes an overview of the current demographic situation in Turner Valley and adjacent municipalities, and projects population growth over the 20 year horizon to 2026. These population projections are used to project future need for recreational facilities and services.

Exhibit 4 details the age distribution by five year cohorts for the Town of Turner Valley, the Town of Black Diamond, and the Municipal District of Foothills. In this and subsequent exhibits the populations indicated for the Municipal District of Foothills reflect only the 33% of the M.D. population located within the potential Turner Valley recreation facility catchment area. The source for the population age distribution is the 2006 Federal Census of Canada, which used a common methodology and measurement date for all of the municipalities in the catchment area. As indicated in the exhibit, the total population of the Turner Valley recreation facility and program catchment area was approximately 10,400 persons in 2006, with approximately 1,900 persons (18% of the total) in each of Turner Valley and Black Diamond, and the balance in the adjacent portion of the Municipal District of Foothills.

In general, the age distribution of the catchment area resembles the Provincial age distribution, with two notable exceptions: the Turner Valley catchment area has approximately 2% to 3% fewer residents in the age 20 to 39 cohorts than the Provincial distribution, while the age 45 to 65 cohorts are over-represented by approximately 2% in the catchment area relative to the Provincial distribution. This finding has some implications for demand for recreational facilities and services, suggesting there may be slightly higher than expected levels of demand for passive forms of recreation than would otherwise be expected. In addition, the relatively smaller population of the early household forming cohorts suggests that there may be somewhat fewer than expected younger children in the area in future years, although at present the proportion of the population in the 0 to 19 year cohorts is virtually identical to the Provincial distribution, because of relatively larger households in the area.

Exhibit 5 summarizes the historical and projected total population estimates for the Turner Valley recreation facility and program catchment area. This exhibit again segments the catchment area population by the municipality of residents, and includes historical populations for 2001 and 2006 from the Federal Censuses, and projections for 2011, 2016, 2021 and 2026. The projections were calculated to reflect historical rates of growth in each municipality, and also their age compositions. Future growth rates are assumed to converge over time, with Black Diamond experiencing an increasing rate of growth while Turner Valley and the Municipal District of Foothills experience slowing rates of growth.

With the assumptions employed, the catchment area for Turner Valley recreation facilities and programs population is projected to increase from approximately 10,400 persons in 2006 to 11,800 by 2011, 13,300 by 2016, 14,900 by 2021, and 16,500 by 2026. The projected increase equates to a 28% population growth over the 2006 to 2016, and an additional 24% increase from 2016 to 2026. The overall average annual rate of population growth is projected to decline from the recently observed level of 2.8% to 2.0% from 2021 onwards. The population projections summarized in Exhibit 5 are used to estimate future demand for recreational facilities in Turner Valley.

## 3.4 Future Recreation Needs – 2016, 2026

As the population of Turner Valley and the surrounding area grows and changes in composition, recreational needs are also expected to change and increase as well. Future recreation needs for the mid-term (2016) and longer-term (2026) are a function of the combination of stakeholder and public consultation, benchmarking and population analyses and projections. Anticipated future recreation needs in the Town of Turner Valley are discussed in the following subsections.

### 3.4.1 NEEDS TO 2016

Mid-term future recreation needs form, with immediate needs, the basis for future policy directions for recreation planning in Turner Valley. A description of the anticipated recreation needs from the present to 2016 in Turner Valley include:

# Catchment Area Population

Age Cohort	Town of Turner Valley	Town of Black Diamond	Municipal District of Foothills <sup>2</sup>	Total	
0 - 4	120	110	295	525	5.1%
5 - 9	100	100	395	595	5.7%
10 - 14	130	110	500	740	7.1%
15 - 19	145	125	550	820	7.9%
20 - 24	80	95	335	510	4.9%
25 - 29	110	110	195	415	4.0%
30 - 34	105	115	265	485	4.7%
35 - 39	125	115	405	645	6.2%
40 - 44	160	140	600	900	8.7%
45 - 49	190	170	730	1,090	10.5%
50 - 54	160	165	665	990	9.5%
55 - 59	165	135	580	880	8.5%
60 - 64	100	95	400	595	5.7%
65 - 69	75	75	270	420	4.0%
70 - 74	60	65	190	315	3.0%
75 - 79	35	65	110	210	2.0%
80 - 84	20	55	60	135	1.3%
85 +	20	60	30	110	1.1%
Total	1,900	1,905	6,575	10,380	100.0%

1 Census of Canada

2 Reflects 33% of MD Foothills population located within potential Turner Valley recreation facility catchment area

## Catchment Area Projected Population

Year <sup>1</sup>	Town of Turner Valley	Town of Black Diamond	Municipal District of Foothills <sup>2</sup>	Total
2001	1,605	1,865	5,585	9,055
2006 5 year average annual rate of growth	1,900 3.4%	1,905 0.4%	6,575 3.3%	10,380 2.8%
2011 5 year average annual rate of growth	2,205 3.0%	1,995 0.9%	7,630 3.0%	11,830 2.6%
2016 5 year average annual rate of growth	2,520 2.7%	2,120 1.2%	8,700 2.7%	13,340 2.4%
2021 5 year average annual rate of growth	2,850 2.5%	2,280 1.5%	9,815 2.4%	14,945 2.3%
2026 5 year average annual rate of growth	3,145 2.0%	2,515 2.0%	10,835 2.0%	16,495 2.0%

1 2001 and 2006 Census of Canada; 2011+ projected

2 Reflects 33% of MD Foothills population located within potential Turner Valley recreation facility catchment area

- The demand generated by both visitors and residents for the Hell's Half Acre Campground continues to grow. By 2016, demand for another 44 fully serviced campground sites is expected. In total, the campground when fully built out would contain a total of 74 sites that are available to the public year round.
- The Flare 'n' Derrick Community Centre is functionally obsolete, and will require replacement before 2016 (see Appendix A). Current plans are for development of Centre 78, a multiplex community facility, on this site.
- Additional neighbourhood-servicing parks are anticipated. These parks are developed in pace with needs generated by planned new community development according to approved area structure plans. A splash park planned would fulfill the neighbourhood park requirement (see Appendix D for a park hierarchy matrix).
- Over time, as the Town grows and new neighbourhoods are developed, the ongoing need for expansion of the pathway system is expected.
- Consultation sources also strongly suggest future demand for a designated dog park area in Turner Valley will be evident by 2016.
- Finally, by 2016 the position of recreational coordinator will transition into a full-time position.

#### 3.4.2 NEEDS BY 2026

Although needs past 2016 are not formally part of this Recreation Master Plan, longer-term recreation needs should be considered. Factors such as higher-than-projected population growth, government capital donations, partnering opportunities, etc. can accelerate the demand (and potential realization) for recreational amenities. Consequently, this Master Plan identifies the following long-term recreational needs anticipated between 2017 and 2026:

- Demand for expansion of the trails and pathway system will be ongoing.
- Another large municipal park similar to Millennium Park is needed by 2026.
- By 2026, replacement of the Dr. Lander Memorial Pool will be necessary. At this time, need for pool expansion (30% higher demand) is anticipated. Pool redevelopment should also consider the addition of a children's wading pool and a diving tank – two pool-based amenities reported during the benchmarking process.
- Between 2016 and 2026, demand for outdoor baseball diamonds and playing fields continues to grow. Assuming imminent need for these amenities is satisfied (i.e., a total of 3.8 diamonds and 3 playfields), demand by 2026 suggests two additional baseball diamonds will be needed. Similarly, need for another 1.5 (2 would be built) playing fields is also expected.

Ongoing evaluation by the Town's planning staff will monitor changes in these future anticipated recreation needs. As discussed, some intermediate and longer-term recreation needs may be addressed earlier if circumstances (particularly federal and provincial grants) promote capital spending or new recreation facilities in the Town of Turner Valley.

## 4. RECOMMENDATIONS

The policy recommendations for the Recreation Master Plan are discussed in sections 4.1 – 4.3 and are summarized in Exhibit 6. This table highlights the proposed timing/schedule for policy implementation. Imminent (2009 - 2011) and near-term capital development recommendations have been assigned a cost estimate for implementation. The proposed general locations for future recreation nodes and pathways in Turner Valley are shown in Exhibits 7. Exhibits 8 - 11 detail the specific locations and actions by time period – immediate, mid-term and longer-term.

### 4.1 Immediate Actions 2009 -2011

The results of the study revealed several recommendations that should be pursued by the Town of Turner Valley in the immediate or imminent future. These actions are illustrated in Exhibit 8 and are intended for the next two years (2009 -2011) and include the following:

- Initiate a Trails & Pathways Master Plan Study (\$25,000 - \$30,000)
- Develop trails and pathways design guidelines as part of the study above.
- Extend existing pathway system (see Exhibit 8 for recommended near-term path extension locations) at an approximate construction cost of \$170,000, assuming approximately 1,400 metres of extension, most importantly between the new Hell's Half Acre campground location and the downtown.
- Ensure that the pathway extensions are contiguous with existing paths. The second extension is to complete the path from Country Meadows to Sunset Boulevard.
- Integrate planned residential communities with destination nodes on the pathway system that include a range of park types (see Appendix D).
- Implement standard development agreements with developers to create local tot lots (with typical land areas of up to 0.25 ha) and neighbourhood parks (with typical land areas of up to 1.0 ha).
- Promote Millennium Park as the 'flagship' municipal park in Turner Valley. Signage is important for this action.



*Millennium Park is an important recreational amenity. Its central location is ideal for the pool, future community centre and sportsfields.*

# Policy Recommendations

RECREATION AMENITY	RECOMMENDATION	TIMING PRIORITY			NEAR-TERM COST ESTIMATE	COMMENTS
		Immediate (2009 – 2011)	Mid-Term (2012 - 2016)	Longer-Term (2017 - 2026)		
<b>PATHWAYS &amp; TRAILS</b>						
	• Initiate Trails & Pathways Master Plan Study.	✓			\$25,000 - \$30,000	• Recreation Infrastructure Canada (2009-11) Funding opportunity imminent.
	• Develop trails and pathways design guidelines.	✓			Part of plan costs.	• See Appendix E for sample pathways guidelines.
	• Develop contiguous system.	✓	✓	✓		• Ongoing.
	• Integrate residential districts with destination nodes (e.g., hierarchy of parks and recreational facilities).	✓	✓	✓		• See Appendix D for description of pathway hierarchy.
	• Extend existing pathway system.	✓			\$175,000	• Includes pathway segments 1 and 2 (see Exhibit 11).
	• Extend existing pathway system.		✓		\$325,000	• Includes pathway segments 3, 4, 5 and 6. Assumes no cost to Town for segment 4 – done by developer.
	• Extend existing pathway system.			✓	\$300,000	• Includes pathway segments 7, 8, 9 and 10. Segment 10 length unknown.
<b>PARKS</b>						
Local Parks	• Implement standard development agreements whereby developers create local neighbourhood parks.	✓	✓	✓	Cost recovered from developers.	• As new developments arise, new local parks are created.
Neighbourhood Park	• Consider larger, neighbourhood park planning to include playfields which serve new residential development. • Priority area for a future neighbourhood park is the southeast quadrant of the Town.			✓	Cost recovered from developers.	• Long-term parks which serve new planned communities.

# Policy Recommendations

RECREATION AMENITY	RECOMMENDATION	TIMING PRIORITY			NEAR-TERM COST ESTIMATE	COMMENTS
		Immediate (2009 - 2011)	Mid-Term (2012 - 2016)	Longer-Term (2017 - 2026)		
Municipal Park Millennium Park	<ul style="list-style-type: none"> <li>Promote this central location as the “flagship” municipal park. This site is the preferred location for future community recreation facilities.</li> </ul>	✓	✓	✓		<ul style="list-style-type: none"> <li>Intensification along Main Street supported by General Municipal Master Plan.</li> <li>Central location is highly visible to residents and visitors.</li> </ul>
	<ul style="list-style-type: none"> <li>Conduct Community Centre Feasibility Study.</li> </ul>	✓			Study cost: \$35,000 - \$40,000	<ul style="list-style-type: none"> <li>Also referred to as “Centre 78”.</li> </ul>
	<ul style="list-style-type: none"> <li>Proposed Centre 78 Community Centre (including municipal library) to be constructed at this site.</li> </ul>	✓			Estimated \$8 million.	<ul style="list-style-type: none"> <li>Significant addition to community; costs determined by Community Centre Feasibility Study.</li> </ul>
	<ul style="list-style-type: none"> <li>Prepare a master plan for park enhancement and long-term intensification.</li> </ul>	✓			\$20,000 - \$25,000	<ul style="list-style-type: none"> <li>Concept plan for the long-term vision for the site required.</li> </ul>
	<ul style="list-style-type: none"> <li>Millennium Park expansion – acquire use of adjacent property.</li> </ul>	✓			Unknown	<ul style="list-style-type: none"> <li>Costs to be determined.</li> </ul>
Hell's Half Acre Campground (formerly River Bend Park)	<ul style="list-style-type: none"> <li>Support relocation efforts.</li> </ul>				Capital costs by Lion's Club.	<ul style="list-style-type: none"> <li>Campground relocation underway.</li> </ul>
	<ul style="list-style-type: none"> <li>Expansion of camping sites.</li> </ul>	✓	✓		Capital costs by Lion's Club.	<ul style="list-style-type: none"> <li>Planned 30 serviced sites in first year. Total of 74 sites proposed.</li> </ul>
	<ul style="list-style-type: none"> <li>Develop day use facilities.</li> </ul>	✓			\$70,000 - \$80,000	<ul style="list-style-type: none"> <li>Picnic, barbecue areas, horseshoe pits, etc.</li> </ul>
Sheep River Park	<ul style="list-style-type: none"> <li>Preferred location is the municipal reservoir site.</li> <li>Day use site with community-wide attraction.</li> <li>Prepare a master plan.</li> </ul>			✓		<ul style="list-style-type: none"> <li>Intended as river access point for residents and visitors.</li> <li>Envisioned as a multi-use public gathering area.</li> </ul>

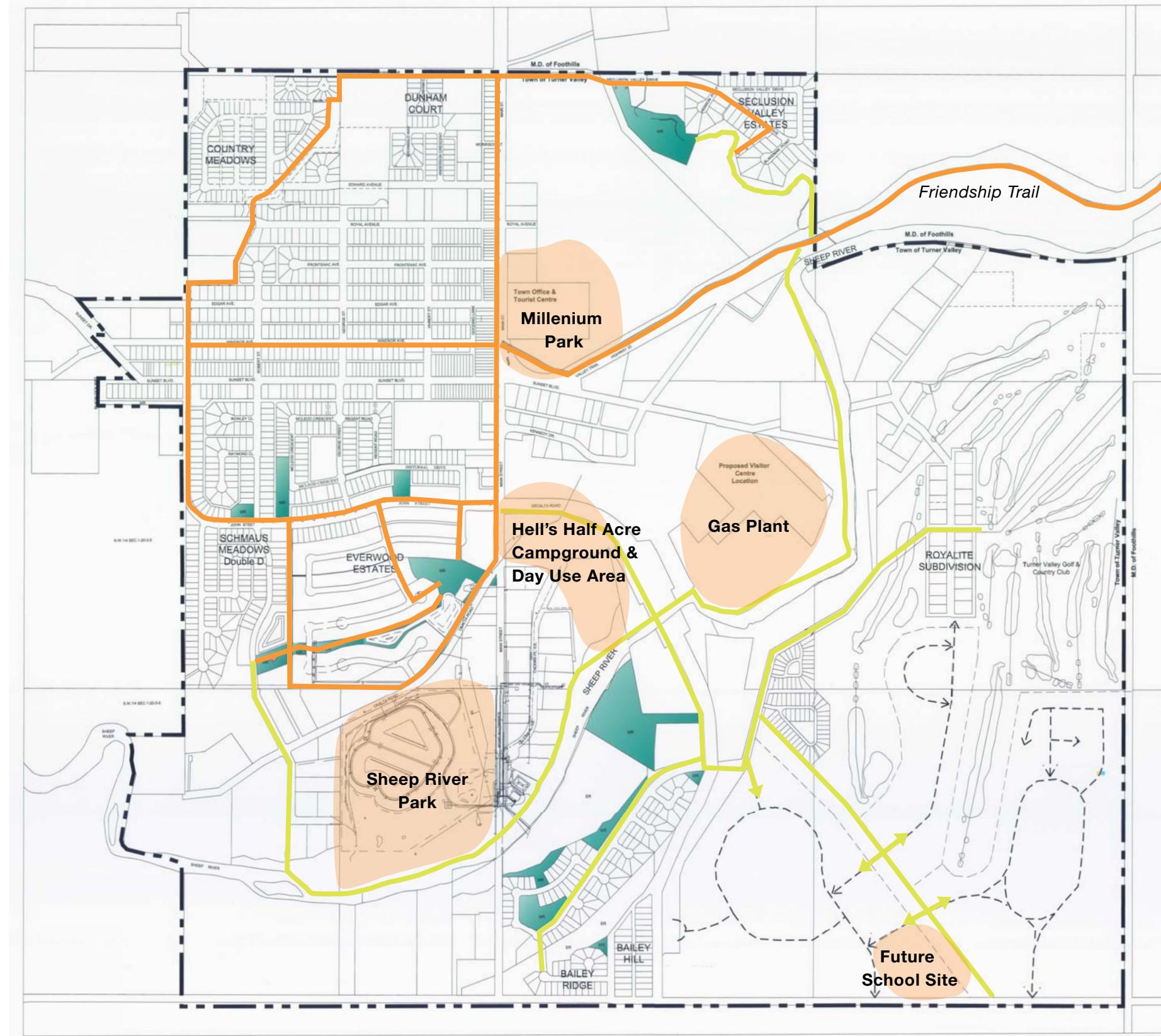
# Policy Recommendations

RECREATION AMENITY	RECOMMENDATION	TIMING PRIORITY			NEAR-TERM COST ESTIMATE	COMMENTS
		Immediate (2009 - 2011)	Mid-Term (2012 - 2016)	Longer-Term (2017 - 2026)		
<b>FACILITIES</b>						
Flare 'N' Derrick Community Centre	<ul style="list-style-type: none"> <li>Demolition of existing structure prior to Centre 78 construction.</li> </ul>				\$25,000	<ul style="list-style-type: none"> <li>Structure contamination removal if needed – costs additional.</li> </ul>
Dr. Lander Memorial Pool	<ul style="list-style-type: none"> <li>Conduct Pool Redevelopment Feasibility Study.</li> </ul>			✓		<ul style="list-style-type: none"> <li>Long-term vision for the popular outdoor pool.</li> </ul>
	<ul style="list-style-type: none"> <li>Future redevelopment of the pool to include expansion, tot wading pool and dive tank. Adjacent green space/lawn incorporated into redesign.</li> </ul>			✓		<ul style="list-style-type: none"> <li>Pool is important regional attraction; visitor use high also.</li> <li>Preferred location at Millennium Park or adjacent expansion area.</li> </ul>
Indoor Arena (none currently)	<ul style="list-style-type: none"> <li>Feasibility study required to determine viability of independent arena versus future expansion of Black Diamond facility.</li> <li>If arena development approved, central location is strongly preferred.</li> </ul>	✓			Study cost: \$35,000 - \$40,000	<ul style="list-style-type: none"> <li>Imminent need identified for: <ul style="list-style-type: none"> <li>1 sheet/rink</li> <li>3 curling sheets</li> <li>1 racquet court</li> <li>multi-purpose space</li> <li>basketball/gymnasium</li> </ul> </li> </ul>
<b>PLAYFIELDS</b>						
Baseball Diamonds	<ul style="list-style-type: none"> <li>Construct one additional baseball diamond. Preferred location Millennium Park expansion. One replacement diamond needed due to Centre 78 construction.</li> </ul>	✓			\$70,000 - \$90,000 (land cost not included)	<ul style="list-style-type: none"> <li>Both residents and visitors to the Town use baseball diamonds.</li> <li>See Millennium Park comments.</li> <li>Total of 4 acres (1.6 ha) needed.</li> </ul>
	<ul style="list-style-type: none"> <li>Construct two new softball diamonds at Millennium Park expansion.</li> </ul>		✓		\$70,000 - \$90,000 (land cost not included)	<ul style="list-style-type: none"> <li>See Millennium Park comments.</li> <li>Total of 4 additional acres (1.6 ha) needed.</li> </ul>
	<ul style="list-style-type: none"> <li>Construct two diamonds at proposed southeast school site.</li> </ul>			✓		<ul style="list-style-type: none"> <li>Total of 4 acres (1.6 ha) needed.</li> </ul>

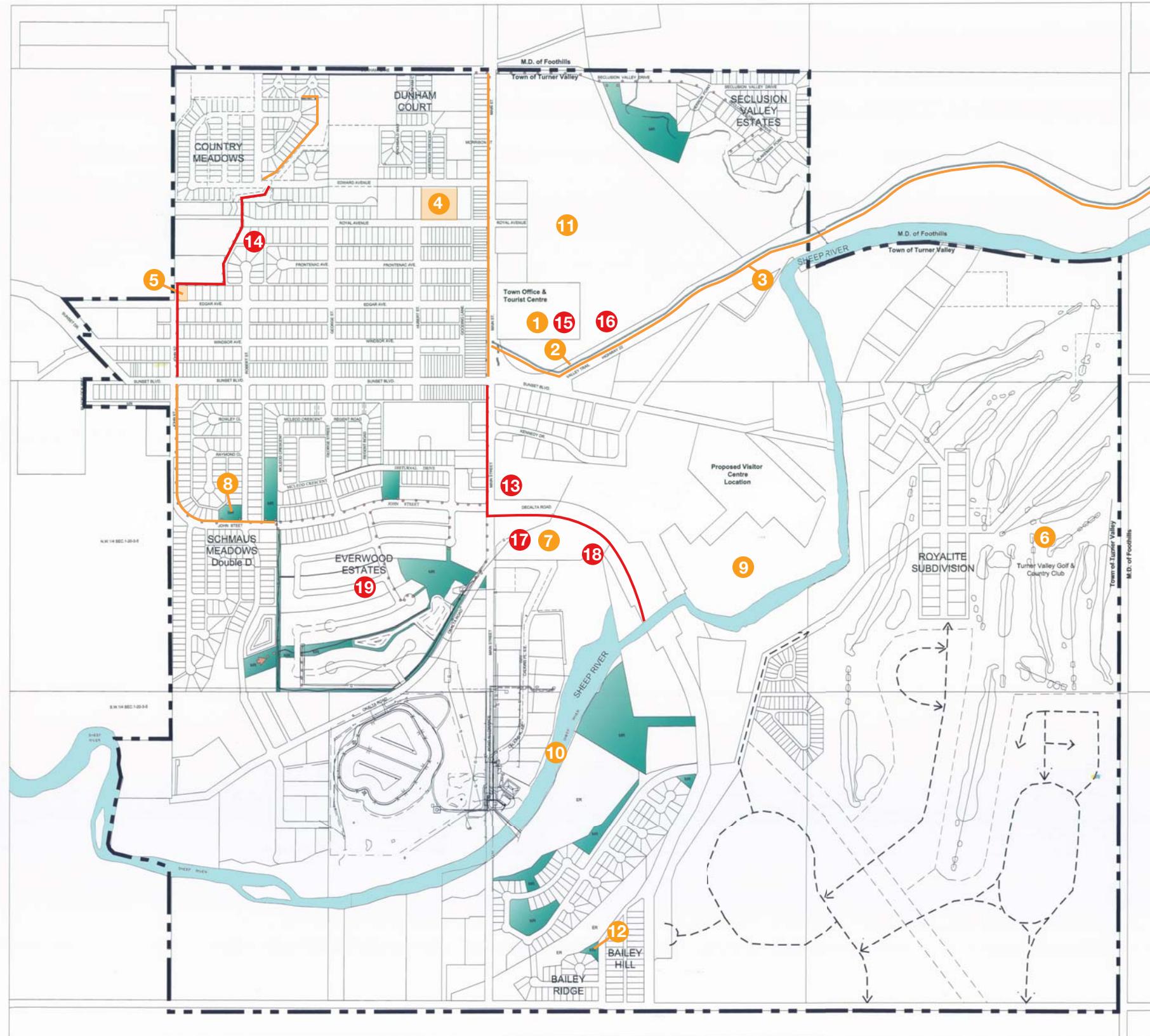
# Policy Recommendations

RECREATION AMENITY	RECOMMENDATION	TIMING PRIORITY			NEAR-TERM COST ESTIMATE	COMMENTS
		Immediate (2009 - 2011)	Mid-Term (2012 - 2016)	Longer-Term (2017 - 2026)		
Rectangular Fields (soccer)	• Repair current soccer field behind municipal building.	✓			\$5,000	
	• Construct two new fields. Preferred location is Millennium Park expansion.		✓		\$40,000 - \$50,000 (land costs not included)	• Additional 4.5 acres (1.8 ha) needed.
	• Construct two new fields in future. Preferred location is part of future southeast school site.			✓		• Additional 4.5 acres (1.8 ha) needed.
Dog Park	• Identify appropriate location along the pathway system for an off-leash area. This area is determined as part of the recommended Pathways Master Plan study.	✓			Part of pathway system capital costs.	• Must consider accessibility and convenience for persons walking.
<b>OTHER</b>						
Recreation Coordinator	• Hire a recreation coordinator. • Share function and cost with adjacent municipalities.	✓	✓		\$10,000 - \$15,000 (1/3 share by Town)	• Imminent need to hire on part-time basis. By 2016, position is full-time. • Responsible for user surveys, utilization and expansion of programmed activity.
Accessibility	• All recreational facilities shall be reasonably accessible.	✓	✓	✓		• Ongoing policy recommendation.
Signage Partnerships	• Improve directional and informational signage.	✓	✓	✓	\$6,000 - \$8,000	• Promote historical references as appropriate.
	• Pursue cost-sharing opportunities and formalize agreements with adjacent municipalities.	✓	✓	✓		• Ongoing funding partnerships.

# Proposed Recreation Nodes and Pathways



# Immediate Recommended Actions 2009 - 2011



## Recreation Amenities

- 1 Outdoor rink
- 13 Pathway extension #1
- 1 Ball Diamond
- 14 Pathway extension #2
- 1 Dr. Lander Memorial Outdoor Swimming Pool
- 15 Centre 78 - Community Centre
- 16 Construct one new, one replacement baseball diamond
- 1 Hell's Half Acre Campground
- 17 Day-use area at new campground
- 1 Flare and Derrick Community Hall
- 18 Off-leash area; preferred off pathway extension #1
- 2 Royalite Millennium Park
- 3 Friendship Trail
- 4 Turner Valley School
- 5 Edgar Avenue Playground
- 6 Semi-private golf course
- 7 River Bend Park - day use
- 8 Southwood Drive Playground
- 9 Gas Plant
- 10 Sheep River
- 11 Soccer field
- 12 Bailey Ridge Playground
- 19 Municipal Reserve
- Future Proposed Road
- Existing paths

- The Town should acquire the use of land adjacent to Millennium Park. A long-term arrangement is desirable to maximize the function of the site as a recreational year-round activity node with excellent access.
- Prepare a long-term Concept Plan for Millennium Park that will include accommodating the proposed development of Centre 78 – a community centre that will include the municipal library, a gymnasium/performance space; a large lobby area for displays which may also serve as a visitor centre/museum space. The Legion as well as community organization such as the Boys and Girls Club may also lease space in Centre 78. Millennium Park Concept Plan costs \$20,000 - \$25,000.
- Relocation of Hell's Half Acre Campground from Millennium Park to new site at former River Bend Park. A total of 30 serviced stalls in first year. Lion's Club is funding the relocation and operations of the campground.
- Day use facilities should be developed at the new Hells' Half Acre Campground. These facilities will include covered BBQ sheds, picnic tables; 2 – 4 horseshoes pitches and ideally, two baseball diamonds (if space is available). An open grassed area for spontaneous play is also encouraged. Day use facility costs are estimated at \$70,000 - \$80,000.
- Conduct Community Centre Feasibility Study to include replacement of the Flare N' Derrick hall into the new proposed Centre 78 facility. The estimated cost for the study is \$35,000 - \$40,000.
- Conduct an Indoor Arena Feasibility Study to evaluate viability of an arena to be located in Turner Valley distinct from the arena located nearby in Black Diamond. Current demand suggests the imminent need for an arena specific to Turner Valley that would have 1 ice rink, 3 curling sheets, 1 racquet court and a basketball/gymnasium space. The cost of this study is estimated at \$35,000 - \$40,000.
- Construct one additional baseball diamond to meet immediate demand. The preferred locations would be proximate to Millennium Park (requires a land use agreement with current owner) and Hell's Half Acre Campground if space permits. Another replacement baseball diamond will be needed when the new Community Centre (Centre 78) is constructed on the Flare N' Derrick site at Millennium Park. A total of approximately 4 acres (1.6 ha) of land is needed for these two baseball fields.
- Repair the surface of the soccer field located behind the municipal building. Estimated cost is \$5,000.
- Undertake as part of the proposed Pathways Master Plan study to identify a location for a dog park/off-lease area. Cost is part of the study fees and capital costs associated with the expanded pathways system.
- The hiring of a Town recreation coordinator is recommended. This is a part-time position of two days per week to start. Suggested salary is in the \$10,000 - \$15,000 range. The Town of Turner Valley would be responsible for one third of the salary or up to \$5,000. The MD and the Town of Black Diamond would also equally cost-share this position.
- Accessibility should remain a high priority within the Town. The design of future pathways and recreation facilities must consider accessibility as an essential element.

- Improve local directional and informational signage in the Town. Promotion of the historical context should also be considered in future signage. Preliminary signage costs are estimated at \$6,000 - \$8,000.
- Finally, the Town should pursue cost-sharing strategies with the Town of Black Diamond and the MD of Foothills. Refer to Appendix C for additional information on the funding agreement shared between the MD of Greenview and the Town of Valleyview.

## 4.2 Mid-Term Actions 2012 – 2016

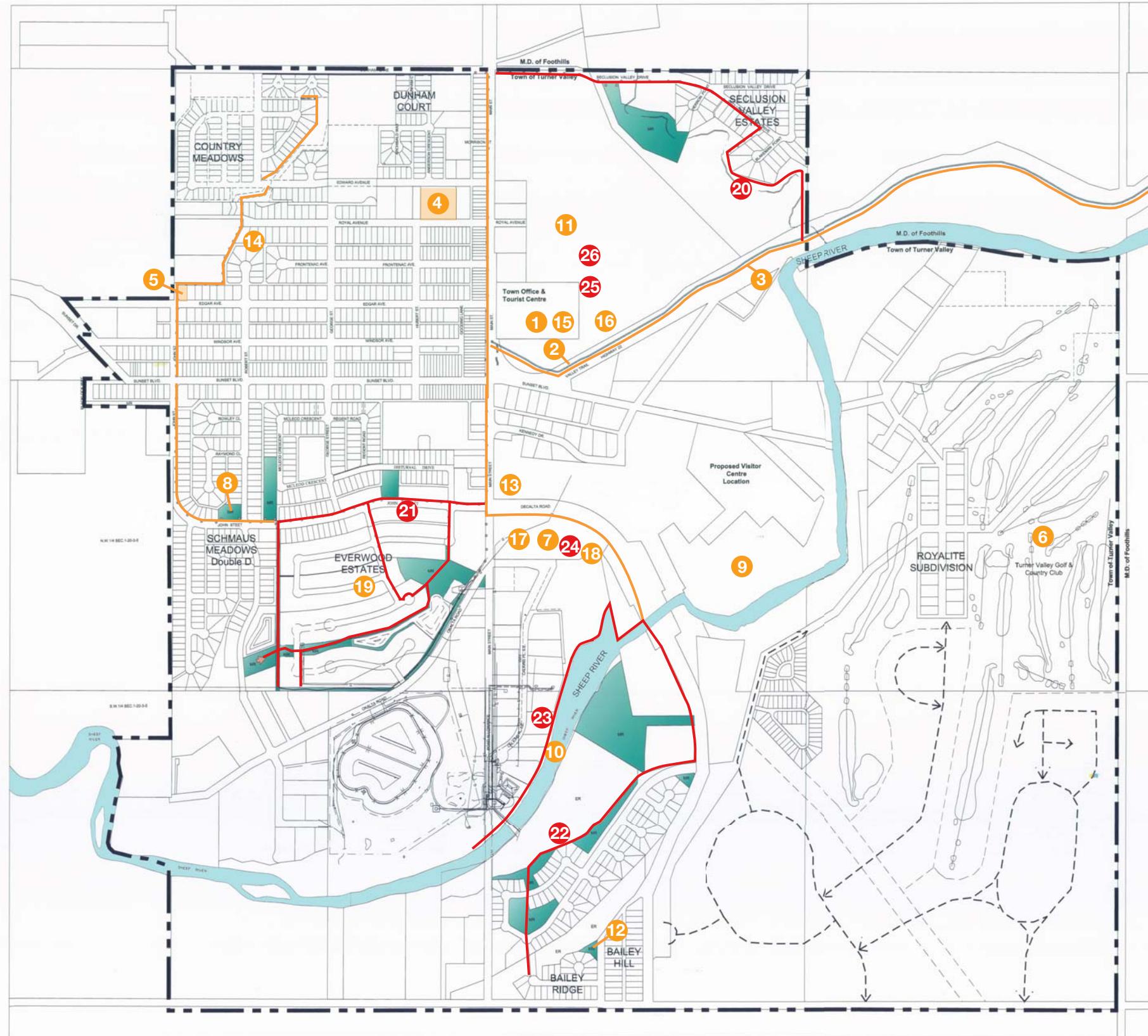
Several near-term actions are recommended as part of the Recreation Master Plan. These actions are intended for the time period of 2012 to 2016. Any actions recommended for the immediate time frame of 2009 – 2011 would take precedence over any of these near-term actions. Exhibit 9 illustrates the activities proposed for this time period following the completion of the tasks recommended for 2009-2011. The mid-term actions also include the following activities which were initiated in 2009 -2011 and which are ongoing:

- Continue to extend existing pathway system (see Exhibit 9 for recommended mid-term paths). Segments 3, 4, 5 and 6 would be completed. These pathway segments total some 4700m. The estimated cost (2009\$) to construct is \$330,000. It is assumed that pathway segment 4 located throughout Everwood Estates is completed by the developer at no cost to the Town.
- Ensure that the pathway system remains contiguous.
- Continue to integrate planned residential communities with destination nodes on the pathway system that include a range of park types (see Appendix D).
- Continue to pursue and enforce standard development agreements with developers to create local neighbourhood parks.
- Continue to promote Millennium Park as the 'flagship' municipal park in Turner Valley.
- Complete the expansion of Hell's Half Acre Campground site with the development of last of the 74 sites proposed for the new location. The Lion's Club is responsible for the costs of the additional sites.
- Construct two new softball diamonds at Millennium Park expansion. Estimated cost (without land) for the diamonds is \$70,000 - \$90,000.



*New playfields (soccer) and baseball/softball diamonds could consume as much as 9 ha or 22 acres of land before 2016.*

# Mid-Term Recommended Actions 2012 - 2016



## Recreation Amenities

- 1 Outdoor rink
- 2 Ball Diamond
- 3 Dr. Lander Memorial Outdoor Swimming Pool
- 4 Hell's Half Acre Campground
- 5 Flare and Derrick Community Hall
- 6 Royalite Millennium Park
- 7 Friendship Trail
- 8 Turner Valley School
- 9 Edgar Avenue Playground
- 10 Semi-private golf course
- 11 River Bend Park - day use
- 12 Southwood Drive Playground
- 13 Gas Plant
- 14 Sheep River
- 15 Soccer field
- 16 Bailey Ridge Playground
- 17 Day-use area at new campground
- 18 Off-leash area; preferred off pathway extension #1
- 19 Water park (developer) general location
- 20 Pathway extension #3
- 21 Pathway extension #4
- 22 Pathway extension #5
- 23 Pathway extension #6
- 24 Hell's Half Acre Campground site expansion
- 25 Construct two new baseball diamonds
- 26 Construct two new soccer fields
- Municipal Reserve
- Future Proposed Road
- Existing paths

- Demand suggests that two new rectangular (e.g., soccer) play fields are needed. A central location such as leasing land long-term adjacent to Millennium Park should be considered. The estimated cost to construct two new playfields (non-irrigated) is \$40,000 - \$50,000.
- During this period of time, the recreation coordinator position will be converted to a full-time position. The full-time salary of this position is estimated at \$45,000 - \$50,000 per year. The Town of Turner Valley would be responsible for one third of the cost provided recommended cost sharing agreements are implemented and enforced.
- Accessibility should remain a high priority within the Town. The design of future pathways and recreation facilities must consider accessibility as an essential element.
- Continue to provide additional local directional and informational signage in the Town. Promotion of the historical context should also be considered in future signage.
- Finally, the Town should continue to enforce cost-sharing strategies with the Town of Black Diamond and the MD of Foothills.

### 4.3 Longer-Term Actions 2017 – 2026

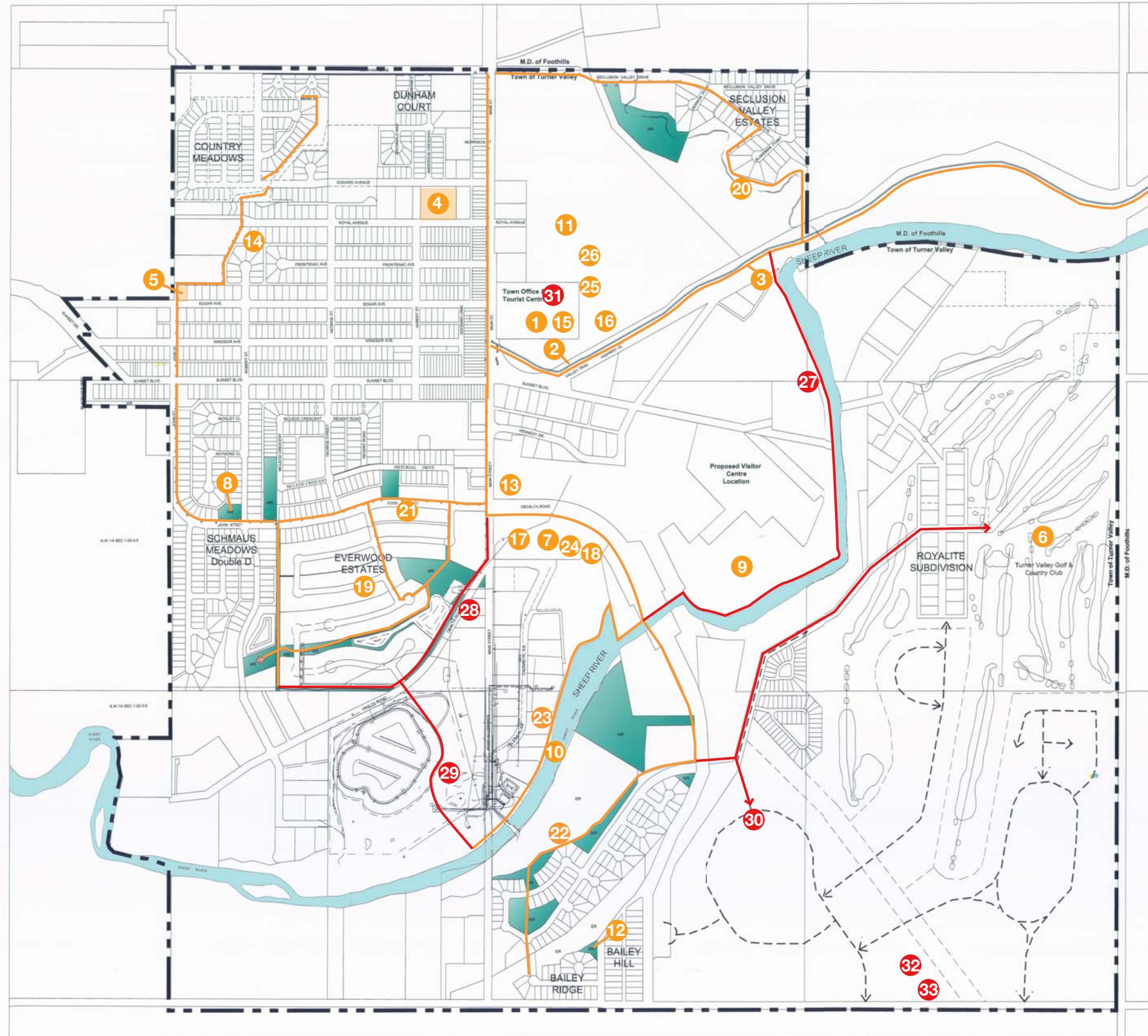
Longer-term actions are envisioned for the ten year period from 2017 – 2026. These actions continue the policy directions established earlier and prepare the Town for more extensive capital expenditures anticipated in the future to meet increasing recreational needs in the community. Exhibit 10 highlights these longer-term actions. The longer-term actions proposed include:

- Extend existing pathway system (see Exhibit 10 for recommended long-term paths). Pathway segments 7,8 and 9 totalling approximately 2500m are completed for a 2009\$ cost of \$310,000. Pathway segment 10 length is not yet known.
- Ensure that the pathway system remains contiguous.
- Continue to integrate planned residential communities with destination nodes on the pathway system that include a range of park types (see Appendix D).
- Continue to pursue and enforce standard development agreements with developers to create local neighbourhood parks.
- Continue to promote Millennium Park as the 'flagship' municipal park in Turner Valley.
- Conduct a Pool Redevelopment Feasibility Study. The pool is an important regional recreation amenity and redevelopment is essential.



*The Dr. Lander Memorial Pool will be redeveloped as part of long-term plans for Millennium Park.*

# Long-Term Recommended Actions 2017 - 2026



## Recreation Amenities

- 1 Outdoor rink
  - 20 Pathway extension #3
  - 1 Ball Diamond
  - 21 Pathway extension #4
  - 1 Dr. Lander Memorial Outdoor Swimming Pool
  - 22 Pathway extension #5
  - 23 Pathway extension #6
  - 1 Hell's Half Acre Campground
  - 24 Hell's Half Acre Campground site expansion
  - 2 Royalite Millennium Park
  - 25 Construct two new baseball diamonds
  - 3 Friendship Trail
  - 26 Construct two new soccer fields
  - 4 Turner Valley School
  - 27 Pathway extension #7
  - 5 Edgar Avenue Playground
  - 28 Pathway extension #8
  - 6 Semi-private golf course
  - 29 Pathway extension #9
  - 7 River Bend Park - day use
  - 30 Pathway extension #10
  - 8 Southwood Drive Playground
  - 31 Dr Lander Memorial Pool redevelopment
  - 9 Gas Plant
  - 10 Sheep River
  - 11 Soccer field
  - 12 Bailey Ridge Playground
  - 13 Pathway extension #1
  - 14 Pathway extension #2
  - 15 Centre 78 - Community Centre
  - 16 Construct one new, one replacement baseball diamond
  - 17 Day-use area at new campground
  - 18 Off-leash area; preferred off pathway extension #1
  - 19 Water park (developer) general location
- Municipal Reserve  
— Future Proposed Road  
— Existing paths

- Millennium Park is redeveloped in response to expansion of the pool complex including re-landscaping the pool area to include more green space.
- Pool redevelopment to include a dive tank and wading pool is scheduled during this phase.
- Construct two new rectangular play fields (e.g., for soccer use). The preferred location is proximate to the proposed southeast school site. The cost for construction of these play fields is estimated at \$40,000 - \$50,000.
- Sheep River Park – a new municipal park proposed for the existing reservoir site - would have a master plan prepared during this time period. This park is envisioned as a multi-use gathering area with excellent access to the river. Studies to confirm the potential addition of another reservoir cell to this location would also be undertaken to determine long-term feasibility of this site as a future park.
- In the 10 year period from 2017 – 2026, an additional two new baseball diamonds are needed. The proposed location would be proximate to the southeast school site.
- Accessibility should remain a high priority within the Town. The design of future pathways and recreation facilities must consider accessibility as an essential element.
- Continue to provide additional local directional and informational signage in the Town. Promotion of the historical context should also be considered in future signage.
- Finally, the Town should continue to enforce cost-sharing strategies with the Town of Black Diamond and the MD of Foothills.

## 4.4 Pathway System

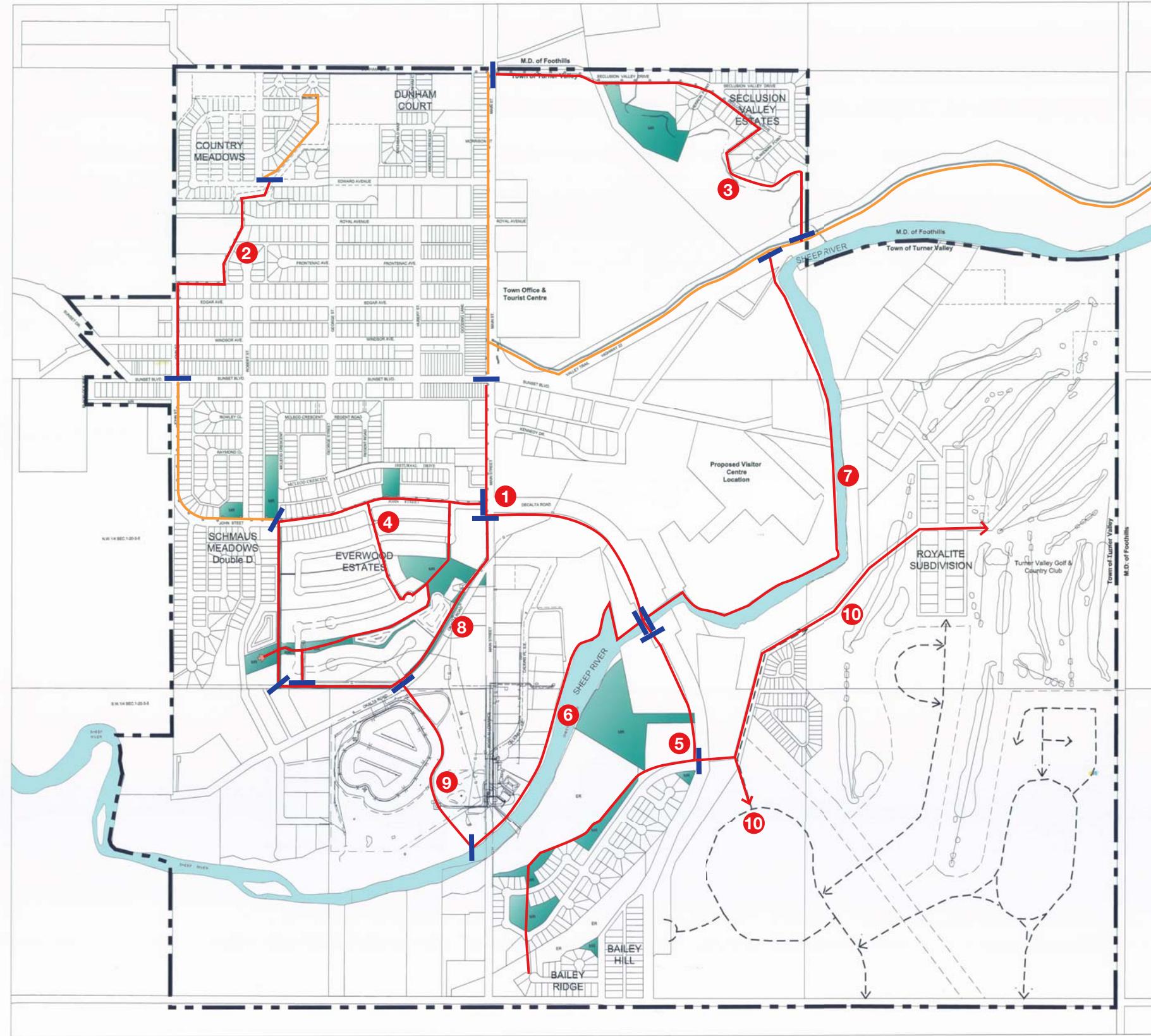
The most important recreational amenity identified by Turner Valley residents and stakeholders is pathways. The most desired pathway attribute is connectivity between residential areas and recreational nodes and facilities. Importantly, the desire for a contiguous system included creating more pathway opportunities for looping; would offer changes in vista or environments to walk through; and, improved linkages between high-use areas (e.g., between the new campground and the pool). Creating a pathway system that was wheelchair, bicycle and stroller friendly, particularly by using asphalt as the preferred surface material, was also important. An off-leash area directly off of a path was also desired.

The recommendation to complete a Pathways Master Plan for Turner Valley has been made. Until its completion, the preferred right-of-Way (ROW) widths for pathways have been assumed to vary between a minimum of 2.5m and 4.5+m for high volume paths (see Appendix E for example pathway design guidelines from the Town of Black Diamond). The development of similar pathway design guidelines for the Town of Turner Valley is also an immediate recommended strategic action.

The following table assigns costs to the proposed future pathway system. Estimated pathway segment lengths are also noted. Exhibit 11 details the sequencing of the pathway system development over the next 10+ years.

Since a Pathways Master Plan has not yet been completed, the cost estimates for new pathway construction assume a generic 2.5 m path ROW with an asphalt walking surface. Other costs associated with maintaining pathway connectivity such as slope stability; drainage;

# Recommended Pathway Extensions (Sequential Order)



## Pathway Segments

- ① Millennium - Campground - River Park
- ② Country Meadows - Sunset Boulevard
- ③ Seclusion Valley Connector
- ④ Everwood Estates
- ⑤ Bailey Connector
- ⑥ West Sheep River
- ⑦ East Sheep River
- ⑧ Sheep River Park Connector - (Campground to Schmaus Meadows)
- ⑨ Sheep River Park
- ⑩ East Expansion / Future Southeast
- Municipal Reserve
- Future Proposed Road
- Existing paths

stairways/ramps, etc. are not included in the cost estimates. Land acquisition costs, if required, have also not been included. The high-level, not-adjusted-for-inflation costs of the pathway expansion segments are shown below:

Pathway Segment No.	Estimated Length (linear metre)	Estimated Cost (2009\$)	Comments
1	790 m	\$95,000	High priority linkage from new campground to downtown/pool and to river.
2	630 m	\$75,000	Establishes continuity Country Meadows to Schmaus Meadows.
3	920 m	\$110,000	Establishes link from new and north residential area to Friendship Trail.
4	1930 m	Cost Borne by Developer	Everwood Estates internal pathway – assumed by Developer.
5	1040 m	\$125,000	Bailey neighbourhood connected to pathway system.
6	770 m	\$95,000	West river pathway system, high amenity.
7	1230 m	\$150,000	East river pathway, links gas plant, Friendship Trail and river together.
8	810 m	\$100,000	Links campground to Schmaus Meadows and Sheep River Park (reservoir site).
9	480 m	\$60,000	Sheep River Park link to west river path.
10	Unknown	Unknown	Unknown

## 4.5 Land Requirements – Immediate and Mid-Term

An estimate of the land required to accommodate the major infrastructure projects proposed for the Town of Turner Valley in the immediate and mid-term (2009 – 2016) are as follows:

- Over this 7 year period, the construction of 4 baseball/softball diamonds is proposed. Three new baseball diamonds consume a total of approximately 3 hectares (using City of Calgary standards) a softball diamond consumes less than  $\frac{3}{4}$  of a hectare while a single diamond to Little League standards consumes an estimated 1.2 hectares. An additional baseball diamond (estimated 1 hectare or about 2.5 acres) is also needed to replace the field lost to the proposed construction of Centre 78 located at the Millennium Park site. In total, an estimated 4 hectares (nearly 10 acres in total) for the 4 baseball/softball diamonds would be consumed in the near future.
- Two new rectangular play fields for sports such as soccer are also proposed. Each soccer pitch or play field (assuming City of Calgary standards) consumes

approximately 1 hectare each for a total of two hectares (nearly 5 acres) needed within the next two years to meet this demand.

- The proposed Community Centre (which would replace the Flare 'N Derrick) identified for possible location at Millennium Park could potentially require as much as 3 hectares or about 7 acres (as shown on preliminary architectural drawings) for the site.
- In total, the immediate and mid-term major land requirements (excluding pathways) is equivalent to approximately 9 hectares or about 22 acres.

## 4.6 Immediate and Mid-Term Costs (2009 – 2016)

The cost for completing the immediate actions recommended for the Town were estimated. The total expected cost to implement immediate (2009 -2011) policy recommendations are estimated at \$500,000. The bulk of these costs are attributed to pathway expansion, baseball diamond construction and development of a day use area to be incorporated into the new Hell's Half Acre Campground site location. Land acquisition, if required, is not included in these cost estimates.

Costs for completing mid-term recommended actions also totals approximately \$500,000. Expansion of the pathway system accounts for the largest share of mid-term costs. All mid-term cost estimates are expected to be revised as the recommended studies are completed.

See Exhibit 6 for detailed cost estimates associated with specific recommended actions.

## 4.7 Funding Sources and Agreements

The primary funding sources for recreation amenities in the Town of Turner Valley will be the municipality itself. This will include capital and maintenance funding for all amenities that are highly resident-oriented such as pathways and local parks. Other funding sources include:

- Government of Alberta – research programs annually; as an example, investigate the following sources:
  - Alberta Sport, Recreation, Parks and Wildlife Foundation: Sport Participation Initiative Program
  - Provincial Municipal Sustainability Initiative
- Federal Government – research programs annually; as an example, investigate the following sources:
  - The Building Canada Fund
  - Recreation Infrastructure Canada (RINC)
- Private sector funders include:
  - non-profit and environmental agencies
  - energy sector corporations and local commercial enterprises
  - sale of naming rights

- Intermunicipal cost-sharing should be pursued by the Town of Turner Valley for the capital and operating costs for recreational amenities/facilities used by residents of Black Diamond and the Municipal District of Foothills. Cost agreements are common amongst other comparably-sized municipalities (see Section 3.1.3 and Appendix C). Typically, cost agreements acknowledge the proportion of facility utilization attributed to a municipality's residents in the funding model to a maximum amount. For example, utilization of Dr. Lander Memorial Pool is reportedly 1/3 by residents of Turner Valley, 1/3 by residents of Black Diamond, and 1/3 by residents of the Municipal District of Foothills.

## 4.8 MDP Implications

The Municipal Development Plan (MDP) sets out the municipal planning framework for development and is the official statement of the Town of Turner Valley's policies concerning the desired future pattern of development. As the highest level municipal plan, subordinate plans must conform to the MDP. The 2004 MDP was reviewed to identify areas of potential conflict between the proposed Recreation Master Plan (RMP) and the MDP. In general, the RMP is aligned with the vision and planning objectives set out in the MDP, particularly regarding the most recreation-relevant objectives and policies related to growth management, development constraints and environmental protection, flood risk, residential development, commercial/industrial development, and open space / park development objectives.

The only identified RMP departure from MDP policies is with respect to section 10.3.1, which states that the Town will develop a "Recreation and Cultural Master Plan that: establishes recreation, cultural and open space priorities...". In accordance with the terms of reference, the RMP considers only parks, pathways, open space, and other recreational infrastructure, but does not include cultural amenities.

It is anticipated that the feasibility analysis (in progress at the time of writing) for the proposed Centre 78 community centre will include consideration of community- and regional-scale cultural amenities, including a museum, visual arts space, performing arts space, and an inter-municipal library.

## APPENDIX A

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### **FLARE 'N' DERRICK CONDITION REPORT**

206C20.D2.

TOWN OF TURNER VALLEY

BUILDING CONDITION ASSESSMENTS

500-3

FLARE N' DERRICK COMMUNITY HALL

## Recommendations

The majority of the recommended remedial work is in the mechanical category. The architectural recommendations are for the most part cosmetic in nature. Given the roles these facilities play in the Turner Valley community, the proposed improvements would not be wasted money. As a comparison, a new community hall building of a similar size will likely cost in the range of \$1.5 million.

Refer to attached spreadsheets for line item description and lifecycle cost plan.

### Flare'n 'Derrick Community Hall

#### Architectural / Structural

As noted, the building appears to be in good structural condition and in general is in acceptable condition with regards to finishes and functionality.

Specific recommendations for remedial work are:

- Exterior repainting; including front porch siding and railings, repainting of corrugated metal panels, and rear elevation.
- Re-roofing; entire building, within 5 years.
- Repair of exit door enclosure on North side; replace exterior grade plywood, painting and roof tie-in.
- Close-in rear door no longer used.
- New acoustic tile ceiling in Main Hall,

#### Mechanical

The equipment in this facility in general is considered to be in poor to fair condition. The primary equipment such as furnace, hot water heater, kitchen exhaust fan, suspended unit heater and plumbing fixtures are all reported in poor condition with recommendation to have replaced. Additional improvements such as exterior flashing repair, rainwater leaders and installation of duct and pipe insulation is also included in our recommendations.

The following list identifies specific instructions:

- Replace furnace with same capacity high efficiency unit including reconnect of existing pipe, breeching and duct services.
- Install combustion air duct suitable in size for appliance rating in furnace room,
- Install insulation on crawl space ductwork to reduce energy losses.

- Replace hot water heater with same capacity high efficiency model including reconnect of existing pipe and breeching.
- install insulation on hot water piping to reduce energy losses.
- Add programmable thermostat space temperature control.
- Remove suspended gas fired unit heater and replace with electric surface mounted heater above door at main entry. Existing Chimney and gas piping to be removed and terminated appropriately.
- Replace all water closets, urinals and wall-mounted lavatories with low water consumption fixtures and compliance with handicap accessible regulations.
- Replace both washroom exhaust fans with same capacity ceiling mounted units.
- Install downspouts on north and south exits to direct rainwater away from walkway and building.
- Provide protection of exterior crawl space Ventilation wells to prevent moisture penetration into crawl space.
- Revise kitchen ventilation control to operate on high level gas detection control with on/off switch override to reduce energy consumption.
- Replace kitchen exhaust fan with roof mounted up blast unit complete with new curb and: flashing.

## **Electrical**

In general the electrical system for the Community Hall is in fair condition.

The following list identifies specific instructions:

- There is one FPE panel for the complex and it is filled to capacity. A new panel with more capacity should be installed.
- The panel directory should be updated
- Branch Circuit Wiring .There is a shortage of circuits through out the building. In the kitchen and storage rooms extension cords are being used for appliances and lighting. The wiring in the electrical room should be cleaned up.
- The main lighting for the complex is fluorescent T-12 lamps with magnetic ballasts. The lighting is at the end of life cycle and should be replaced with energy efficient T-8 lamps with electronic ballasts.
- The exterior fixtures are 2 head tab fixtures with photo cells, the north side has one keyless fixture which is not rated for exterior and is not mounted on the box. The fixture should be replaced.

## DR. LANDER COMMUNITY POOL

### Architectural / Structural

The building is generally in good condition. A thorough cleaning is needed prior to season startup, Repainting of the building should be considered for the near future. Two items of higher priority are:

- Repair pool edge concrete,
- Repair women's change-room door frame.

### Mechanical

The equipment in this building is considered to be in good operating condition. Minor improvements and upgrades are recommended for occupant safety, equipment efficiencies and general maintenance.

The following list identifies specific instructions:

- install insulation on hot water piping within the building to reduce energy losses.
- Replace floor drain grate to remove potential tripping/safety hazard.
- Replace sink faucets with low flow units.
- Replace all showerheads to low flow heads.
- Replace all water closets with low consumption units,
- Install ductwork for dryer to convey exhaust outdoors complete with rain cap on roof.
- Install pressure gauges on pool sand filter system.
- Install roof mounted ventilation unit with temperature control operation interlocked with intake damper and exterior wall louver for boiler room ventilation.
- Install fire extinguisher in boiler room.

### Electrical

In general the electrical systems for the building are in good condition with a few minor problems. Generally the lighting is in good condition.

The following list identifies specific instructions:

- The 100 amp switch for the pool administration area panel should be replaced.
- Electrical panel boards - There is one small panel in the basement and one panel in the pool admin area, both panels are filled to capacity. The panels should be replaced to provide room for additional circuits.
- All panels and switches should be identified and labeled.
- Provide a fixture under the beam by the public washrooms.
- Replace the missing lenses for the interior fluorescent lighting fixtures.

## Statement of probable life cycle cost

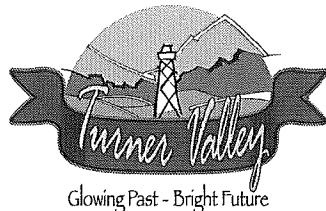
	Past Due	Urgent	1	2	3	4	5	TOTAL
<b>ARCHITECTURAL</b>								
F & D HALL			\$6,000.00	\$20,000.00	\$10,000.00		\$18,000.00	\$54,000.00
POOL		\$5,000.00	\$2,250.00	\$20,000.00	\$20,000.00			\$47,250.00
<b>MECHANICAL</b>								
F & D HALL	\$5,250.00		\$10,350.00				\$5,300.00	\$20,900.00
POOL			\$2,400.00				\$6,000.00	\$8,400.00
<b>ELECTRICAL</b>								
F & D HALL			\$4,300.00	\$8,000.00			\$2,500.00	\$14,800.00
POOL			\$5,650.00					\$5,650.00
<b>BUILDING TOATAL</b>								
	\$5,250.00	\$5,000.00	\$30,950.00	\$48,000.00	\$30,000.00	\$0.00	\$31,800.00	\$151,000.00

## APPENDIX B

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### **COMMUNITY SURVEY**

**TURNER VALLEY**  
**Paths, Parks, and Recreation Advisory Committee**  
**SURVEY**



**SECTION #1**

Name: \_\_\_\_\_

Phone # \_\_\_\_\_

Location(TV, BD, MD, etc.): \_\_\_\_\_

Your Age: **0-7 8-12 13-15 16 to 21 21-35 35-50 50-65 65+**

How many members of your household are in the following age group?

0 to 10  10 to 20  20 to 30  30 to 55  55 to 65  65+

Does anyone in your household have a mobility impairment? **Yes or No**

If yes does the person experience barriers in the areas of paths, parks and recreation. If so, what improvements would you recommend \_\_\_\_\_

**SECTION #2**

How important is the following:

Pathways	<b>High</b>	<b>Med</b>	<b>Low</b>
Parks	<b>High</b>	<b>Med</b>	<b>Low</b>
Recreation Facilities	<b>High</b>	<b>Med</b>	<b>Low</b>
How important is the swimming pool?	<b>High</b>	<b>Med</b>	<b>Low</b>

In your opinion what could or should be done to upgrade the pool?

How important is it to add to pathways? **High Med Low** What path extensions would you like to see and where?

What improvements would you like to see? \_\_\_\_\_

How important is it to improve parks? **High Med Low** What improvements would you like to see? \_\_\_\_\_

How important is it to add to recreational facilities? **High Med Low** What Facilities would you like to see added or improved? \_\_\_\_\_

How important is it to make the river accessible? **High Med Low**

Where do you think it would be best, and why? \_\_\_\_\_

### **SECTION #3**

What do you and/or your family use:

Parks Yes No Which do you use? \_\_\_\_\_

Paths Yes No Which do you use? \_\_\_\_\_

Recreation Yes No What do you use? \_\_\_\_\_

What future developments would you like added to the Town of Turner Valley Paths, Parks, and Recreation Facilities? (Walking/Bike Path, picnic tables, etc.)

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### **SECTION #4**

Comments and Suggestions:

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The Paths, Parks and Recreation Advisory Committee would like to take this opportunity to formally thank you for taking the time to fill out this survey. We want to thank you for your input and your name will be submitted for 3 fantastic door prizes.

You are invited to an OPEN HOUSE on March 14, from 1-4 p.m. at the Flare n Derrick. Please invite your family and friends.

You can bring this survey to the Open House or if you can not attend please drop it off at the Town Office by March 13, 2009.

Your ideas, needs, and comments are important to the development of our wonderful community.

**PARKS, PATHS AND RECREATION COMMITTEE**  
**MARCH 14, 2009 SURVEY FORMS**

**SECTION 1**

**Location (adults filling forms)**

- MD Foothills - 1**
- Millarville - 1**
- Black Diamond - 1**
- Turner Valley - 66**

<b>Age Group filling out form</b>	<b>0 to 7</b>	<b>8 to 12</b>	<b>13 to 15</b>	<b>16 to 21</b>	<b>21 to 35</b>	<b>35 to 50</b>	<b>50 to 65</b>	<b>65+</b>	<b>Total</b>
					17	14	24	14	69
<b>Members in household</b>	<b>0 to 10</b>	<b>10 to 20</b>	<b>20 to 30</b>	<b>30 to 55</b>	<b>55 to 65</b>	<b>65+</b>			188
	50	13	22	44	41	18			

**Mobility Impairment**

**YES                    NO**

**2                    almost all**

strong wheelchair accessibility

we should be careful to build "barrier free"

grand daughter - hard with not very good sidewalks or on ramps for the walkways

impossible to reach park or campground

actually having some (improvements) would be great

**SECTION 2**

<b>How Important</b>	<b>HIGH</b>	<b>MEDIUM</b>	<b>LOW</b>	<b>Total</b>
<b>Pathways</b>	54	9	3	66
<b>Parks</b>	45	14	4	63
<b>Rec Facilities</b>	45	14	6	65
<b>Swimming Pool</b>	43	14	6	63

**Upgrade Swimming Pool**

new indoor facility  
 indoor, lift for people with disabilities  
 an indoor pool would be nice  
 whatever needs to be done  
 just maintenance (50-65 age)  
 it is quite nice now (65+ age)  
 make a new indoor pool complete with other fitness options

new indoor  
build a new one with a roof  
indoor/outdoor all year round swimming  
ideally, cover it  
a tot pool and make it an indoor pool  
enclose and make salt water  
face lift change rooms, more chairs and tables and umbrellas  
add a slide, more life jackets  
new liner, dressing room upgrades, shallow 'wading' pool for little kids  
indoor so can use all year round  
add a hot tub (male 21-35)  
a kids' area, with shallower water for smaller children  
I have no idea  
Demolish & reconstruct indoor rec centre w/ pool, hockey arena, gym, conference facilities  
it should be covered  
not sure of present status  
year round pool accessibility, hot tub, sauna  
indoor so it can be used year round  
indoor, the weather is such a factor  
make it an indoor pool!  
re-do the concrete foundation, last years bleacher renovations were great.  
this pool is a town gem!  
have an indoor pool  
indoor all year round  
make it a year round facility with other activities around  
stay as outdoor  
more lockers/storage space on deck, pool too small  
important for younger people  
maintained and eventually replaced with indoor facility for year round use  
toddler area would be nice  
maintain as it is  
whatever it takes, good for our youth  
indoor/outdoor  
put a roof on it, pool should not be sacrificed for other indoor facilities  
indoor  
baby friendly, make it year round  
indoor - year round  
new building or severe upgrade  
improved cleanliness, shallower, shallow end, kiddie section  
incorporate into a rec facility  
keep it functional!  
cover it, make it year round

## Add to pathways

HIGH	MEDIUM	LOW	Total
42	16	5	63

like to see connecting friendship trail all through TV, especially to reservoir area  
additional safety from traffic at 4 way south and up to golf course  
pathways that connect park areas  
like to see something that joins throughout the Town  
would be nice to have a path that goes around town  
all over out sides of town  
Tougher on pet owners to leash and clean up after pets and we also HAVE pets  
by Hells Half acre, by old swinging bridge  
along river and access to  
add different pathways  
save \$ add to existing systems and use to join a planned system complete with  
pathways around the town  
connect existing paths  
Sunrise hill area  
we have miles of pathways - sidewalks! (65+)  
as the town grows pathways are great shortcuts  
between downtown, reservoir also path up Bailey (sic) Hill  
downtown up to Bailey Ridge area  
north end of town  
circle link with Black Diamond  
pathway systems around new subdivisions, connecting to reservoir, gas plant, firendship trail  
along river  
bike/walking paths throughout the town  
make fully paved friendship trail so can rollerblade  
paths that go to the river area  
better paths  
have paths run through town to green spaces  
I am a resident of Bailey Hill, my family often walks along the roadway (which is highly unsafe)...  
into the town of TV. Many residents walk in this area and are at risk  
Through all utility ROW that cannot be used for anything else  
More riverside pathways & rec areas  
something that loops  
north end of town  
circular link w Black Diamond off Royalite Way  
scenic areas along the river and along Imperial Drive so we don't have to walk on the road

should have a Diamond Valley round road (path)  
pathway extension should run west along the sheep river  
it could either be gravel or wood chips, keep it away from the noisy roads & highways  
a 2.5k, a 5k, 10k walking path through  
now that we are limited to the friendship trail which is next to a major road and not quiet to walk  
need to see Master Plan  
Town was not developed with pathways in mind. Due to multiple new developments/developers...  
ensure pathways are designed to connect and have a continuous flow through community  
where we live is all rooted up so we'll have to wait  
all areas linked by paved pathways and pathways around storm ponds  
path across to alley north of Edgar and other various length trails  
Possible from sunset across to YWAM area  
more pathways  
from golf course down the either towns  
golf course, Imperial Drive, Royalite Way  
make a conneted system of pathways throughout the towns  
the ones we have appear to be well maintained  
better sidewalks, more pathways esp to the river  
paths joining in Sunrise hill  
better maintenance on current rec facilities, ex ball diamond  
to all developments & areas, along river from golf course to youth mission  
along our beautiful river or/and reservoir  
connect all town areas  
newer subdivisions  
pathway system that N S E W in the city so all accesible  
increased number of paths  
pathway along river to allow safe access  
more pathways  
connecting all parks - up through Royalite to connect a TV/BD loop  
along the river between TV bridge and BD bridge  
as development occurs, in areas where sidewalks aren't located  
throughout the town  
around water reservoir, along east side of river  
10k bike route

## Improve Parks

HIGH	MEDIUM	LOW	Total
40	19	5	64

More parks, picnic areas, a GREAT playground accessibility  
Paths bringing communities together  
Nice to have a full size baseball diamond  
Bigger parks/washrooms/drinking fountain for people and pets, more benches/flowers/trees  
Maybe some shaded area picnic tables by the river near the bridge S.E. of hotel  
more individual sites/areas to gather, vignettes  
Pathways that connect throughout town  
some picnic areas with access to the river  
do something with the downtown park except mowing the grass, plant a tree  
put in a soccer field, lawn bowling, bocce (downtown park)  
parks for all ages and areas to throw and kick a ball  
as we have lost the day use area by the river to the lions, I think that some sort of family day use area should be considered preferably along the river  
Older homes and trailers on main street improved or removed, businesses face lifted  
most of gas plant gone, open park where a lot of the gas plant is now  
Picnic tables, garbage cans  
improved playgrounds for kids (new subdivisions), green spaces off leash dog park  
more variety for running and walking  
better equip. for kids, more than 1 swing park  
more benches and picnic areas  
High importance to signage and accessibility  
needs to remain central in town, design & social market  
TV rec with outdoor pool, children's play area  
skateboard/ice rink, horseshoe, soccer field and MAINTAIN this are  
name it the **NORMA ODELL** day use area  
take advantage of rec areas in riverside areas  
washroom  
just more of them  
cosmetic, seats, plantings etc  
more variety, more paved for rollerblading throughout old and new communities  
more parks  
kids love parks, the park at the TV elementary is very good  
water park, fountains for drinking water!  
first, have the government pay and totally remove the gas plant eyesore! Now you have one of  
...the most scenic spots for a beautiful park. Parks are extremely important to community  
...and community events  
add pot-a-potty, benches, out the town bird houses  
again, quiet spots in the town are always nice and will improve people talking and socializing

all need upgrades

very little park space in town, especially north end (none). Given that most town land is being....

...sold for development must ensure developers are required to provide park space. Plans for...

...proposed north end development appear not to have this

as well as pond areas, grassed, trees, benches for rest and reflection

the park on Roibert St amuses 2 year olds for a few minutes only, the equipment doesn't meet

....the needs of anyone over 2 (age 65+ filled form)

I don't even know what we do have

mostly walking paths around and through parks

need walking paths in them

more parks, bigger, more apparatus, swings etc

Parks use must be more accessible and pleasantly presented

more sidewalks, it is an extension of the pathways, leads to better health & more activity

more parks added for new areas, green spaces enhance the beauty and desirability of a town

more equipment with additional picnic areas

picnic & firepits

we are in a wildlife area, make silhouettes of animals c/w educational fact of said animals

keep mowed! Tables would be nice but could increase vandalism

hanging bridges over the river where they used to be

benches, fountains, public toilet

better pathway systems like okotoks

more parks

expand to more parks, include off leash dog park and kids playground

garbage containers, benches, dog stations for bags and disposal

plant trees that will someday be tall and provide shade, plant and maintain grass - that encourages people

....to sit, walk & otherwise use the space

we need more and larger playgrounds for our kids to play in

cut grass, equipment, maintained

just continue developing

maybe expand & improve parks, larger rather than more in 3's

campground is not adequate. Is the Lion's club project going forward? Is so, another day use area is needed something for small children & teenagers

Add to Recreational Facilities	HIGH	MEDIUM	LOW	Total
	36	11	6	53
Gym club (gymnastics/boxing)				
Indoor pool, gym				
during winter is would be good to have a (sic) inside sports facility with badminton, volleyball, basketball, floor hockey				
water park/basketball/ an area for indoor activities in winter / walking track				
when an indoor pool is on site so too can be yoga and other classes with a fitness, wellness focus				
we need our ball diamond				
more campgrounds, baseball fields, upgrade of pool, water park				
it takes more than a slide and a couple of swings to make a playground, FLAT space				
a full recreation center with indoor pool, ice rink and a gymnasium floor for court sports				
soccer field, picnic areas				
bring back tennis courts!!				
bike path through town				
indoor rec center would be nice, performing arts centre				
outdoor rink maintained, better ice				
soccer field & outdoor volley court behind town office advertised!				
indoor pool, squash court				
gymnasium / play group				
better playgrounds for young kids (pre-school)				
splash park				
make the campground so it doesn't look like a refugee camp				
don't need to add, just need to improve what we have and maintain the areas				
Ball diamonds, hockey arena, swimming pool, gym				
indoor pool, spray park				
improved upkeep/maintenance				
bowling alley, movie theatres				
new public library				
indoor pool, squash court				
facility for town fitness classes				
a movie theatre would be great even if it only showed once a week.				
an indoor swimming facility				
tennis court				
get rid of the flare & Derrick once and for all. We need a healthy, improved and new community hall				
a multiplex centre would be great				
where ARE the recreational facilities?				
if the town wants to develop, such locations are a must to attract people (=extra income for Town)				
use them as an asset to promote the area				
rink in BD, pool in TV. Haven't seen new tennis court since it was torn down				
important for younger people				

for pool only

Indoor pool/rec area with indoor climbing wall or gymnastics area (basketball etc).

indoor pool

improvement to the town campground & games equipment, ie basketball hoops or water spray  
... park, good to keep youth out of trouble

more ball diamonds, water park

but not at expense of existing facilities

remove gas plant per say (sic), and put in an interpretational building c/w oil/gas from ground, through  
....processing, etc. Like is done in other oil towns

for young peoples benefit

pick-nik (sic), fire pits, picnik talbes

indoor pool, gym, squash, basketball facilities

rec centre, multi-use including track, fitness center & pool

more areas for children, BMX course, skateboard area

we need a rec center available to our youth to keep them busy and doing something positive instead  
... of roaming town looking for trouble

rec centre, indoor facilities, pool

as a community grows it is critical to develop a healthy community, support for locan & regional  
....facilities is very important

waterpark

year round swimming

## River Accessibility

	HIGH	MEDIUM	LOW	Total
	38	14	2	54

anywhere plausible  
at west end of town so you can flat down the river to Black Diamond  
not sure too many people to not clean up from themselves between both towns  
by Hells Half acre bridge  
don't know what land the town owns  
Poverty Flats before the gas plant, use land near water treatment  
by the bridge, it is used by people all the time now (Hells half acre)  
on the west side of the bridge to the golf course in conjunction with improvements to existing park  
a path leading down by the bridge would be best  
better access and park by the river  
2 places - improve current Riverbend day park access, already existing park  
new path to reservoir  
town owns river frontage a pathway could connect Riverbend day park along the river to reservoir?  
by the plant  
best in Black Diamond  
down by the water treatment plant, nice benches people can move up and down the river easily  
free, natural recreation  
co-ordinate with Lions club to have river access near bridge on Decalta Rd (is it being used this.....  
..way anyway, lets improve & promote  
it is accessible, just go there!  
between Turner Valley & Black Diamond. Good access, easily patrolled & maintained  
not sure where  
in Black Diamond  
Hells half acre bridge  
from TV and west bank along the sheep river  
leave the river a natural spot in the community  
some walkways would be very nice but don't overdo it  
by the Missions (assuming Youth With a Mission, west end Okalta Rd - private property  
Around bridge, can be accessed by both sides of town, could incorporate day use are into plan  
I think it is nice to walk to river from wherever  
an accessible walking path would be nice with picnic areas (like at elbow Falls) proper parking lot  
calkins place (swinging bridge) area?  
Imperial Drive  
access should be planned in an area that can sustain the intended use while minimizing impact  
...to the riparian system

People love water access. I don't know what areas are possible & access  
Probably around the bridge to the s.e. of the city beside gas plant  
park by BD bridge this side of bridge  
access to theep river for tubers, swimmers  
at gas plant if properly reclaimed & developed into a park facility  
public area, not private due to abuse  
all along north side through TV & then to south side back to BD  
reservoir area  
biggest and best beauty west of turner valley  
on southside of golf course where it is already accessible  
between TV and BD where it is easily accessable to both towns and has a parking lot also  
the river is one of our best kept secrets! Pathways/park space/picnic areas there would be great  
beside TV bridge - has easy access  
there is currently access now, should try to limit the # of accesses so there is protection in place  
around bridge area  
before the gas plant

**SECTION 3****Do you/your family use**

	<b>Parks</b>	<b>Parks</b>	<b>Paths</b>	<b>Paths</b>	<b>Recreation</b>	<b>Recreation</b>
	<b>Yes</b>	<b>No</b>	<b>Yes</b>	<b>No</b>	<b>Yes</b>	<b>No</b>
	<b>40</b>	<b>11</b>	<b>55</b>	<b>5</b>	<b>37</b>	<b>11</b>

**Parks, what use?**

playground @ TV school; playground @ pool very lame, I will take my kids to BD to use the playgrounds there  
...several times in summer

3 - all of them

park on windsor & milleneum park

little one up the hill TV and the park behind FasGas (BD)

park behind pool

I am not aware of any around here, I usually go to the Mtns because of that  
school, behind pool, John St

what's to use?

playground for our children

not since kids grew up

school

playgrounds, mostly behind swimming pool

millenium

one by pool, one in our neighborhood

behind pool, riverbend day use area, Bailey Hill tot lot

ball diamond, Sandy McNab

school parks

one by pool, one in our neighborhood

BD by FasGas, TV elementary school

baseball field / park behind pool

school (only one in north end) not town park

don't know where the parks are

I don't know what there is

not sure of name

childrens playgrounds, campgrounds

sidewalks

school and Sunrise hill

sheep river falls, blue rock, gorge creek

TV school

Robert st

one by Flare n derrick

TV school

Millenium park & school park/playground

behind pool

campground

Robert st

Paths, what use?

#### 42 friendship trail

friendship trail, are there others?  
friendship trail, are there others?  
friendship trail - path in Country Meadows  
preferable shorter than to BD  
all  
leisurely walks  
fr trail is only one we know  
pool  
arena in BD  
fr trail....any others?  
don't know of any others (fr trail)  
the one in the north end is pathway to nowhere  
no paths in our area, no sidewalk either  
path in NW TV  
through golf course  
country meadows  
north end

Recreation, what use?

pool, gym in BD, running club in BD, kids enrolled in soccer  
pool, BD rec  
volleyball (beach volleyball)  
BD curling skating rink in & out  
not, other than short walks  
all  
pool, outdoor rink  
what recreation?  
would use pool year round if it were indoors  
pool  
pool  
pool, ice rink, flare n derrick events  
ice rink in winter  
pool, gym  
ball diamonds, hockey, swimming pool, bike/skateboard park  
pool  
flare for beneath the arch  
pool  
pool. Gym  
pool, ice rink  
what is ther except for the arena in BD and the pool?

skating rinks  
pool, rink  
sit on our 3 decks and read a lot, take care of our houws & surroundings, take pooch for walk every day  
...if not below -6  
pool not friendly for my kids (sad face)  
not interested or physically able  
campground and pool  
ball diamonds, pool  
pool  
Okotoks  
none available at this time, winter!  
Valley neighbors club  
out of town areas & pool  
outdoor pool  
pool, soccer field  
pool, outdoor rink  
pool  
pool, arena, curling club  
BD arena, Okotoks pool

## Future Developments

Walking/bike paths, picnic tables  
an upgrade on 16th avenue  
would like to see a great playground/picnic area for TV that could be accessed easily from pathways that connect...  
...the town.  
Bicycle friendly business (ie bike racks) at several locations  
Improved signange in recreation areas that showcase town history and development  
better river access  
accessable park/pathes/greenspaces, indoor pool, possibly arena/gym  
walking & bike paths  
park by reservoir for relaxing picnics  
lg baseball diamond  
beach volleyball in better location  
more family picnic tables, better playgrounds - updated and safe, more walking paths, garbage cans, trees, flowers  
would like to see signs of historic sites put on paths  
I think it would be quite lovely to have a gardewen, perhaps near the gaxebo, which looks a bit out of place, maybe  
....a short path going through the garden as well  
shaded picnic tables would be nice within close proximity to parking  
Day use ares would be nice  
the parks are campgrounds that are full 24/7  
we need walking/biking paths, picnic tables and sunken fire pits

an outdoor amphitheatre for musicians to offer summer concerts  
indoor pool  
track, set cross-country ski trails  
dog area, waterpark, more picnic areas that are in play park areas  
make pool a year round facility by creating an indoor/outdoor pool, ie Cole Harbour, NS  
shade trees, picnic facilities, dog areas, access to the river as much as possible  
flat space to throw a baseball or a frisbee  
Checkerboards!  
a small yet complete recreation facility  
indoor pool with a kiddy pool for younger kids  
gymnasium floor for basketball, volleyball & badminton  
ice rink for skating  
a place to stay active without having to drive to okotoks  
again, walking path along Decalta up to Bailey Hill area, this connection is important. A lot of people use the ....road. I personally have been run off many times  
people enjoy walking (to) down town  
garbage cans, outhouse  
walking trails in the river valley to the west, circular link to BD  
maybe a foot bridge link to the east of golf course  
intreconnecting walking/bike paths, picnic tables/play parks down by the river  
the already existing day use park is not well utilized, it has a good parking lot an pathway down the hill but the river ....area could be made more attractive the area cleared out with picnic areas, tables placed, etc...campground?  
walking/bike paths throught the town  
walking/bike paths, indoor pool  
more walking paths, more picnic areas, more parks & playgrounds  
picnic tables, splash park, bigger & pre-school friendly playgrounds with rubber turf instead of fine gravel & ....more than one baby swing.  
more walking and bike paths would be nice too  
make extension to friendship trail to seclusion valley / hells half acre bridge  
change hells half acre campground to day use only, maby even do an interpretive trail to hells 1/2 acre site and ....link it with the friendship trail.  
have info board on hill overlooking gas plant and have things labelet, so locals and tourists can learn about ....our community and its history  
how about the lions club proposal for a campground at the riverbend day use site?  
bike paths going west on Hwy 546  
hockey, swimming , gym facilities  
all encompassing rec centre  
walking/bike path  
walking paths, bike paths, community centre  
walking/bike paths  
indoor pool  
lots more paved waly & bike paths, picnic tables and park benches along the pathways

everything, cover the pool!!!!  
an offleash area for dogs  
pathways, new community hall &most importantly a pool reno  
pathway from Bailey Ridge to town & maybe Black diamond?  
picnic areas, outhouses  
walking, bike paths are a must around here so develop those carefully and make sure there is a plan in place to  
...maintain them well. Don't do it an any cost. Taxes are high enough  
better 5km well maintained that 15 and left  
add to all, parks, paths, rec  
park space in north end of town  
pathways that have a coninuous flow through future developments  
that new development shoud have lots 50 or 51 and lot 56 removed for walkways & also there should be access to  
...the s.w. somewhere between lots 58 and 67 on DWG by T Fenton Bailey Ridge, see my letter of 16 Jun 2008 re  
....Sheep River Estates Subdivision Application to Mr. Jonathan Yuen  
I'm glad the reservoir is approved. (Carol Hartholt)  
develop all of the above, keep our community alive and involved from infants to seniors, physical involvement  
....for all ages & abilities is so important  
picnic tables  
indoor pool/rec area whre swimming/gymnastics/dance classes can be set up for children  
paths, bike path  
walking paths, bike paths, community centre  
like to see that enbironmental/ecological criteria are considered when planning & developing recreational trails  
all of the above  
I would like to see connected paths, nice attractive parks and an attractive main street and town  
basketball hoops in campground or elsewhere, skateboard park, more seats along friendship trail  
better sidewalks all streets especially in new developments  
please give us an off leash area for out dogs in TV easily accessible  
trails around river, indoor swimming pool, indoor gym for rock climbing or squash/racket ball  
park & picnic areas, firepits etc for family get together (non resident)  
the plans for park & picnic around reservoir sound great  
lots more paths & bikd paths & or course picnic tables  
recreation facilities, bike paths, tennis courts, basketball courts  
linked green space between communities that can be used for walking & biking  
a walking/bike path next to small creek in Country Meadows  
rec center build for year-round availability  
when plowing snow pile on south east side of st, sun melts it faster on s than n (guess what, I'm on north side)  
benches, walking & bike path by river  
make a hill that can be used for tobogganing in the winter & running up & playing on in summer  
make greenspaces bigger than a postage stamp & have more than one useless (cheap) piece of playstructure  
bigger parks for our children to play in  
rec center for our youth  
pathway loop system that connects with friendship trail and travels through TV, royalite and connects with BD to

...make a loop  
indoor facilities/rec centre  
encourage public awareness & use through committee - advertising & partnerships for developing  
bike paths, picnic tables  
trees by reservoir  
beach front river access at reservoir with picnic tables, playground, amphitheatre

## SECTION 4

### Comments & Suggestions

coordination of recreation; such as one central person/position that can facilitate all recreation programs recently, seems to be word-of-mouth to find out what is offered within the region  
kids need organized & free play activities close to home  
coordination with BD, Millarville, Longview, Okotoks etc to highlight area recreation facilities within the region  
indoor facilities would make recreation possible the 8 months of the year when it's too cold to be outside  
it is great to see people getting excited about activities (PP & Rec) in town  
it would be great to get sports teams set up for youth & adult (co-ed teams in volleyball and baseball)  
please get a better handle on pet owners leashing & cleanup! Thank you  
would like to see signs of historic sites put on paths  
a walking path along the river would be nice. However, if money is to be spent, I would prefer it to be spent  
...on encouraging tourism/boutiques downtown. The 2 abandoned businesses are a waste and an eyesore.  
maybe the trail that goes south from the top of Royal Ave and comes out in the alley north of Edgar by the little  
....playground could be improved into a proper trail  
we should build assets on what we have, adds to next census  
recreation co-ordinator  
I am a fairly new resident here so have not been here long enough to comment or make too many suggestions  
...still becoming familiar with the town  
Thanks for the opportunity to give my opinion.  
Please redo Decalta Road and 16th str and bring into modern day usage. Patching is NOT working any longer  
grass maintenance along 16 st Bailey Ridge area ditch  
there could be some signage in town to advertise the day use riverbend area?  
could the building that used to be used for a farmers market be used/repaired and used again - markets, dog training  
...conoco Phillips bldg or land used for a community sports area, horse riding outdoor arena, running track,  
...off leash area, bike riding BMX?  
A park that runs throughout the town that can be used as walking/biking and baby strollers - connect all areas of town  
there are more & more young kids families in the area.  
It's very important to have more better facilities for our children  
Instead of wasting money on water quality that already within government standards and listening to Roxanne Walsh,  
...that money should be put towards developing facilities like the pool  
keep things central to the main part of town  
upgrade & maintain current facilities, no new  
create path from Bailey Hill to main TV before a fatality occurs  
please do not get champagne ideas on a 7 up pocket

...sent via email to Mr. Geo Wallace (Virostek)

A big thank you for keeping the "trail" cleared in winter

take the money that was given to the town of Turner Valley to make the pool and indoor pool!!!! Simple!

I'm tired of hearing about all the pipes in the ground and how they hamper town development.

.... Well, remove them all and rebuild

an indoor aquatic centre would certainly add to the availability and usage in the area

keep everybody informed!

continue working towards a healthy outdoors community

I'm glad the water reservoid is approved

keep up the good work

what about the cost?? Is it is my pension won't cover all of my utility bills. I have to subsidize from other funds.

Thank you for hosting the Open House, great to see the plans for trail connectivity!

not currently residents so we have not had a chance to experience some of these area, but more is always better

not sure where you would put bike trails but anything would be great - down to bridge or along river (big dream I know)

Thanks for asking for comments

Build new Flare N Derrick and incorporate a multi use gym and indoor pool.

Make east side of main st recreational hub with walkind paths all round area

New & future development should and must proceed when economically viable to the local taxpayers

The swimming pools existance must be a top priority and maintenance not neglected until it becomes cheaper to  
..tear it down than to maintain it

the 2 hanging bridges replced would be wonderfu.

Turner Valley tax payers pay huge!!! Tax!! We would like something to show for it. More snow clearing, recreation  
....facilities, bike paths...

indoor pool and less bylaw officers!!! Spend the money on something useful or get them to enforce bylaws rather  
...than only speeding

Please make the multi-use recreation facility a realty and include arena, gym & fitness center

when removing snow, the blade is lifted for driveways...personal wlkways. Just finished clearing my sidewalk when  
...snow plow leaves a 3 foot drift closing my sidewalk

snow removal when needed

back alley grading in summer

baseball diamond, tennis courts

soccer field, all areas, for teen recreation

I know it is difficult with our variable winter weather, but try to maintain better (thicker maybe) ice on the outdoor rink.

...no one can skate recreationally on crapy ice

When we travel & buy lunch somewhere, we look for a park space with grass, shade & clean picnic taqbles to eat on.

...sich space always adds to a community

It is time that thes became the KEY focus of development in our town.

this is a great idea to move our Town toward a walk-about throughout town

## APPENDIX C

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### **FUNDING AGREEMENT: TOWN OF VALLEYVIEW AND M.D. OF GREENVIEW**

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## **VALLEYVIEW AND DISTRICT RECREATION AGREEMENT**

**between**

**THE TOWN OF VALLEYVIEW**  
P. O. Box 270  
Valleyview, Alberta  
T0H 3N0

**and**

**THE MUNICIPAL DISTRICT OF GREENVIEW**  
P. O. Box 1079  
Valleyview, Alberta  
T0H 3N0

## VALLEYVIEW RECREATION AGREEMENT

Made this 17<sup>th</sup> day of February, 2006

### BETWEEN:

THE TOWN OF VALLEYVIEW  
of the first part

and

THE MUNICIPAL DISTRICT OF GREENVIEW  
of the second part

(hereinafter referred to as the "Participating Municipalities")

**WHEREAS**, the Participating Municipalities desire to establish a joint Board to operate and maintain the Valleyview Recreation Board, the Valleyview Polar Palace and the Valleyview Swimming Pool and to promote, foster, create and operate recreational programs, services and leadership training opportunities in the Town of Valleyview and within the boundaries of the Municipal District of Greenview as shown on Schedule "A"; and

**WHEREAS**, the Participating Municipalities have agreed the joint Board shall be known as the "Valleyview and District Recreation Board" (hereinafter referred to as the "Board");

**THEREFORE**, in consideration of these presents, the Participating Municipalities hereto covenant and agree as follows:

### 1. ORGANIZATIONAL:

1.1 The Board shall consist of:

- a. 4 representative appointed by the Town of Valleyview.
- b. 5 representative appointed by the Municipal District of Greenview.

1.2 All members shall be appointed annually by their respective Participating Municipalities, of which one shall be an elected official.

- 
- 1.3 The Board shall elect from among themselves a Chairman.
  - 1.4 No Officer or Board member shall be an employee or contractor of the Board.
  - 1.5 The Participating Municipalities may appoint one alternate member to represent them in the absence of their regular member, and in such absence the alternate member shall have full voting rights.
  - 1.6 Should a vacancy occur on the Board, the Participating Municipality responsible for such appointment shall, within SIXTY (60) DAYS from the date of such vacancy, appoint another person to complete the unexpired term.
  - 1.7 If an appointed member is absent from three (3) consecutive meetings without approval from the Board, that member may be removed and/or replaced by the respective municipality.

## 2. MEETINGS:

- 2.1 General meetings of the Board shall be held on a regular basis, as determined by the Board, to present progress reports on the operation of the recreation facilities, programs and services.
- 2.2 At any meeting, five members will constitute a quorum. A meeting of the Board must have a quorum before a meeting can be held. Should an emergent meeting be held without a quorum, then any business dealt with at such meeting where a quorum was not present, must receive consent at the following meeting when a quorum is in attendance.
- 2.3 All members of the Board shall vote, and a tied vote shall be deemed as lost.
- 2.4 A Board member shall abstain from voting and declare themselves as being in a conflict of interest if that member has a pecuniary interest in the matter. A member has a pecuniary interest if
  - a) The matter could monetarily affect the Board Member or an employer of the Board Member, or
  - b) The Board Member knows or should know that the matter could monetarily affect the Board Member's family.

**3. ROLES AND RESPONSIBILITIES:**

- 3.1 The Board shall have total responsibility and control of those matters and systems required for the day to day operations and maintenance pertaining to the Recreation programs, facilities and services as outlined on Schedule "B". The Participating Municipalities shall share responsibilities as outlined on Schedule "B".
- 3.2 The Board shall be responsible to maintain records of all actions that take place for the Board.
- 3.3 The Board shall hire and appoint a Recreation Director who shall:
  - 3.3.1 take minutes of all meetings of the Board.
  - 3.3.2 transmit copies of all minutes to all members of the Board within a reasonable length of time.
  - 3.3.3 make necessary arrangements for meetings of the Board, including reservations for a meeting room, and notify members with not less than FORTY-EIGHT (48) HOURS of notice.
  - 3.3.4 prepare a proposed budget for the upcoming year of the operations and present it to the Board.
  - 3.3.5 present the proposed budget annually for approval by all Participating Municipalities prior to March 31<sup>st</sup> of the year the budget is to take effect.
  - 3.3.6 prepare a statement of expenditures for each year of operation of the Complex for auditing as required and present this to the Participating Municipalities.
  - 3.3.7 keep records of all revenues and expenditures made on behalf of the Board.
- 3.4 The Recreation Director shall present to the Board the previous years' audited financial statement and the proposed budget for the upcoming year.
- 3.5 The Chairman shall preside over all meetings of the Board, vote as a normal member of the Board.
- 3.6 The Board may appoint sub-committees to deal with any special phase of the matters coming within the scope and jurisdiction of the Board as herein set forth.

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#### 4. FINANCING:

- 4.1 Upon receiving an annual financial statement from the Town, the Municipal District shall provide annual funding as follows:
  - 4.1.1 fifty percent (50%) of the previous years' operating deficit upto a maximum of **FORTY THOUSAND DOLLARS** (\$40,000.00) for the operation of the Valleyview swimming pool.
  - 4.1.2 fifty percent (50%) of the previous years' operating deficit upto a maximum of **SEVENTY THOUSAND DOLLARS** (\$70,000.00), for the operation of the Polar Palace Arena.
  - 4.1.3 fifty percent (50%) of the previous years' operating deficit upto a maximum of **FIFTY THOUSAND DOLLARS** (\$50,000.00) for the operation of the Recreation Board.
  - 4.1.4 percent (50%), up to a maximum of **FIVE THOUSAND DOLLARS** (\$5,000.00), for the Recreation Board to allocate as grants to non-profit clubs and organizations.
- 4.2 The Municipal District shall forward their annual contribution on or before July first each year.
- 4.3 No provision shall be made in the operating budget for either an operating deficit or surplus.
- 4.4 Each years operating budget shall include a transfer of funds to a Reserve Depreciation Fund, to be used for the purpose of equipment and building replacement as required.
- 4.5 Prior to October of each year the Board shall prepare a five year capital plan identifying capital needs and estimated expenditures and submit the plan to the Town and the Municipal District.
- 4.6 The Town and the Municipal District shall meet to discuss the five year capital plan and determine their respectives funding contribution if any.
- 4.7 The Town and the Municipal District shall at a regular scheduled Council meeting approve the five year capital plan and the funding contribution.

5. **GENERAL:**

- 5.1 A participating municipality may withdraw from this agreement at any time upon at least ONE HUNDRED AND EIGHTY (180) DAYS prior written notice of termination intent to be effective the end of the calendar year in which notice is given.
- 5.2 For the purpose of this Agreement addresses for each Participating Municipality shall be as listed below:

Town of Valleyview  
P.O. Box 270  
Valleyview, Alberta  
T0H 3N0

and

Municipal District of Greenview  
P. O. Box 1079  
Valleyview, Alberta  
T0H 3N0

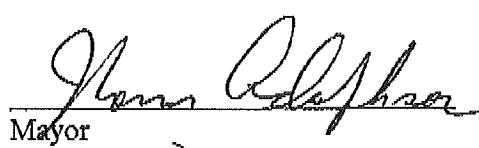
- 5.3 The Town shall be solely responsible for the overall operation of the Board and agrees to indemnify and save harmless the Municipal District from all claims, damages, costs, losses, expense and actions caused by, or arising out of the operation of the Board.
- 5.4 The Town agrees to obtain such consent, approval or licenses as may be necessary to operate the facilities, programs, and services and will maintain at all times adequate insurance to cover any loss that may arise out of the operation of the facilities, programs, or services.
- 5.5 This agreement may be amended by mutual consent of the Participating Municipalities in writing.
- 5.6 This agreement shall be deemed to have come into effect on January 1, 2006, and shall terminate December 31, 2011.

## Valleyview Recreation Agreement

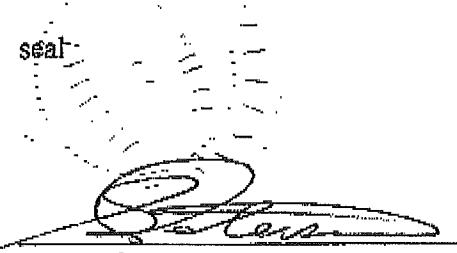
Page - 7 -

IN WITNESS WHEREOF the parties hereto have affixed their hands and/or corporate seals as of the day, month and year written above:

**TOWN OF VALLEYVIEW:**

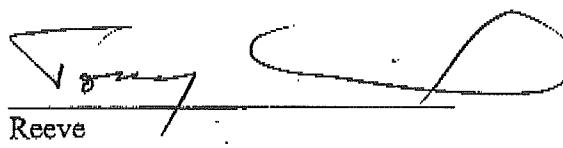
  
Mayor

seal



Town Manager

**M. D. OF GREENVIEW NO. 16:**

  
Reeve

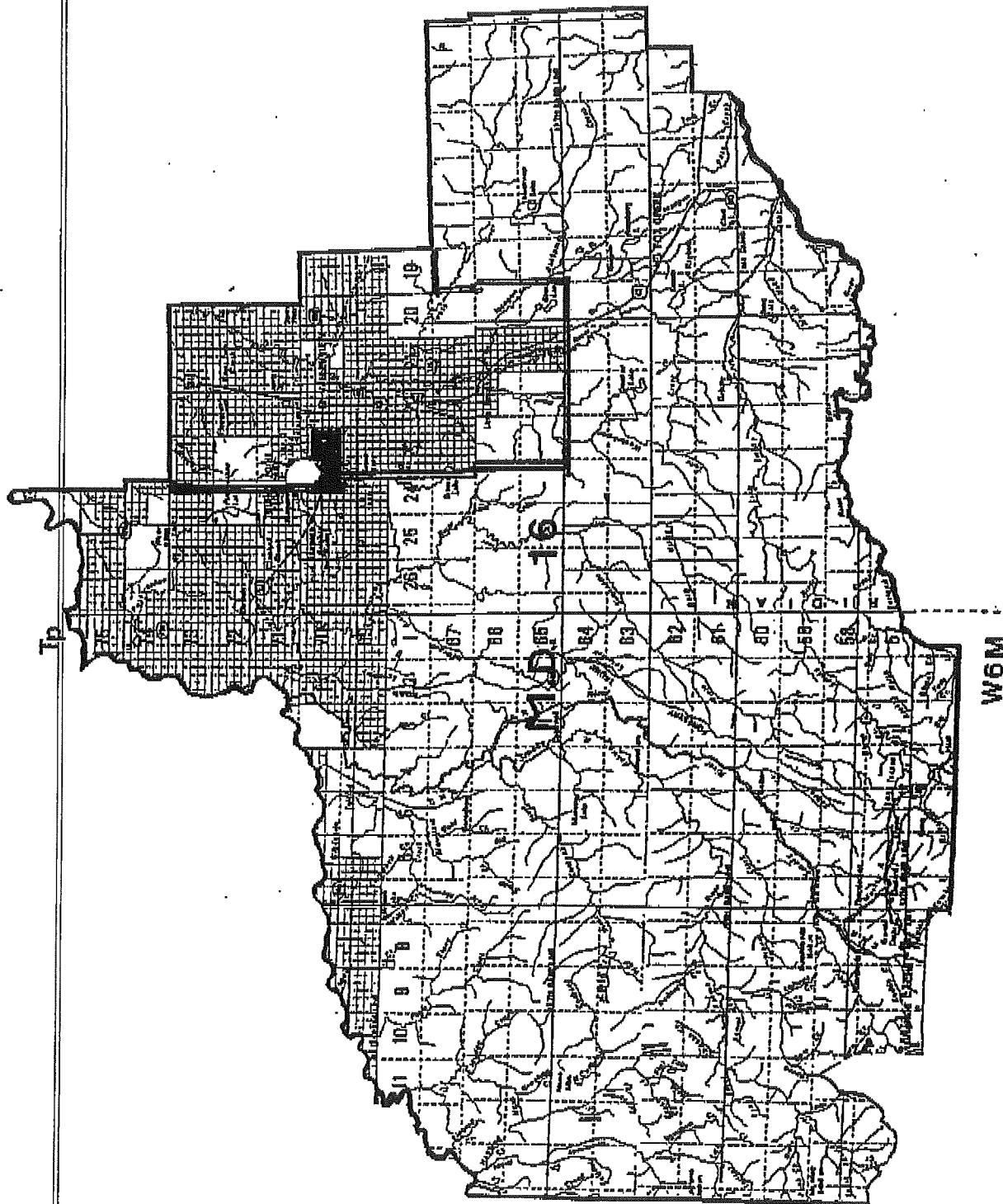
seal

  
Municipal Manager

## Valleyview Recreation Agreement

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**SCHEDULE "A"**



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## SCHEDULE " B "

### VALLEYVIEW AND DISTRICT RECREATION AGREEMENT AREAS OF AUTHORITY AND RESPONSIBILITY

#### RECREATION BOARD:

##### PROGRAMMING:

- Complete control of programming and related Board functions within the amounts set out in the budget as approved by the municipalities.
- Community Program coordinator reports to and is evaluated by the Board for all time spent under its jurisdiction.
- Responsible for facility rentals (Swanson Room, Craft Room, Recreation Office and Ice Surface).
- Ensures that the public is kept informed of the programs offered.

##### ARENA:

- Acts as liaison with user groups.
- Sets ice users Schedule of Fees in conjunction with users and the Town.
- Advises Town on the setting of arena rental rates.
- Recommends to the Town capital improvements or changes in operations.

##### SWIMMING POOL:

- Operates pool within budget as approved by the Municipalities.
- Advises Town on the setting of all pool rates.

##### OUTLYING COMMUNITIES:

- Establishes ongoing communications with the four community groups (Sunset House, Sweathouse, Little Smoky and New Fish Creek).
- Assists in the coordination and provision of joint recreational activities with all community groups.

...continued

**TOWN OF VALLEYVIEW:****PROGRAMMING:**

- In conjunction with the Board, hires all staff including a Community Program Coordinator and such personnel as required to carry out all approved programs.
- Provides all administrative support for the Board and Coordinator (Accounts Receivable, Accounts Payable, bookkeeping, payroll, banking, auditing).
- Supplies office space in the arena and associated equipment.
- Contributes financially as per Agreement.

**ARENA:**

- Responsible for all operations and maintenance of the physical plant.

**POOL:**

- Responsible for all operations and maintenance of the physical plant.
- Provides all administration support for the Board and Pool Director with respect to their area of responsibility (Accounts Receivable, Accounts Payable, bookkeeping, payroll, banking, auditing).

**M.D. OF GREENVIEW:****PROGRAMMING:**

- Contributes financially as per Agreement.

**ARENA:**

- Contributes financially as per Agreement.

**SWIMMING POOL:**

- Contributes financially as per Agreement.

File: 2150-04-VV  
AGMT # \_\_\_\_\_

## AMENDING AGREEMENT

BETWEEN: **The Municipal District of Greenview No. 16**  
P.O. Box 1079, Valleyview, Alberta T0H 3N0

- and -

**The Town of Valleyview**  
P.O. Box 270, Valleyview, Alberta T0H 3N0

(hereinafter referred to as the "Participating Municipalities")

**WHEREAS** an Agreement, referred to as the 'Valleyview Recreation Agreement', was in effect on 1<sup>st</sup> day of January 2006, between the Municipal District and the Town to establish a joint Board to operate and maintain the Valleyview Recreation Board, the Valleyview Polar Palace and the Valleyview Swimming Pool; and

**WHEREAS** both parties have agreed to amend Section 4, being the Financing section; and

**THEREFORE** both parties herein agree to the following:

1. That **Clause 4.1.1** is hereby amended to read:  
"... up to a maximum of **FIFTY THOUSAND DOLLARS (\$50,000)** for the operation of the Valleyview swimming pool."
2. That **Clause 4.1.2** is hereby amended to read:  
"...up to a maximum of **NINETY FIVE THOUSAND DOLLARS (\$95,000)** for the operation of the Polar Palace Arena."
3. That **Clause 4.1.3** is hereby amended to read:  
"...up to a maximum of **SIXTY THOUSAND DOLLARS (\$60,000)** for the operation of the Recreation Board."

Signed and agreed to by the participating parties on this 17 day of April, 2009.

**TOWN OF VALLEYVIEW:**

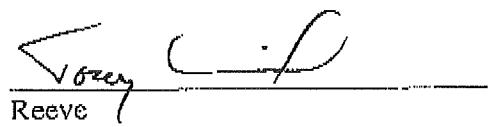


Mayor

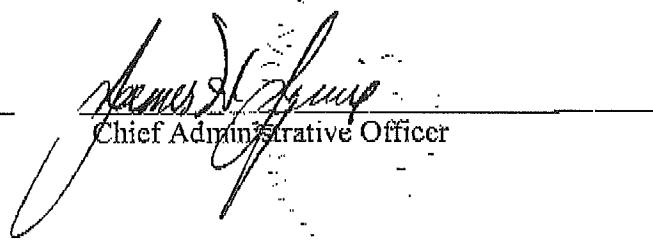


Town Manager

**M.D. OF GREENVIEW NO. 16:**



Reeve



Chief Administrative Officer

## APPENDIX D

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### **HIERARCHY OF PARK TYPES**

## PARK TYPES AND PROPOSED GUIDELINES FOR DEVELOPMENT

	Local Tot Lot	Neighbourhood Park	Community Park
<b>Park Description</b>	<ul style="list-style-type: none"> <li>intended for frequent, short duration day use by adjacent residents</li> <li>caters to users within a comfortable walking distance</li> <li>may be on pathway system</li> </ul>	<ul style="list-style-type: none"> <li>the neighbourhood park can contain a wide range of passive and active recreation facilities</li> <li>introduces public open space into the neighbourhood and a public gathering place</li> <li>should be on pathway system</li> </ul>	<ul style="list-style-type: none"> <li>provides high levels of recreation activities for community-wide use</li> <li>caters to structured recreational activities and tournament play</li> <li>on pathway system</li> </ul>
<b>Typical Size</b>	<ul style="list-style-type: none"> <li>&lt; 0.25 ha</li> </ul>	<ul style="list-style-type: none"> <li>&lt; 1 ha</li> </ul>	<ul style="list-style-type: none"> <li>2+ ha</li> </ul>
<b>Catchment Area</b>	<ul style="list-style-type: none"> <li>&lt; 0.5 km radius</li> </ul>	<ul style="list-style-type: none"> <li>0.5 - 2 km radius</li> </ul>	<ul style="list-style-type: none"> <li>2+ km radius</li> </ul>
<b>Target User</b>	<ul style="list-style-type: none"> <li>pre-school children</li> <li>seniors and less ambulatory</li> </ul>	<ul style="list-style-type: none"> <li>school aged children</li> <li>pre-school children</li> <li>adults</li> </ul>	<ul style="list-style-type: none"> <li>all residents</li> <li>local sports organizations</li> <li>visitors</li> </ul>
<b>Common Activities</b>	<ul style="list-style-type: none"> <li>structured but unprogrammed</li> <li>playground activities</li> <li>walking, sitting, viewing</li> <li>informal and passive</li> </ul>	<ul style="list-style-type: none"> <li>informal or passive</li> <li>some field sports</li> <li>hard surface court activities</li> <li>walking/jogging</li> <li>structured, programmed and unprogrammed</li> </ul>	<ul style="list-style-type: none"> <li>league and tournament play</li> <li>public gathering</li> <li>special community events</li> <li>informal and passive recreation</li> <li>schools/education facilities</li> </ul>
<b>Typical Facilities</b>	<ul style="list-style-type: none"> <li>park furniture</li> <li>play structures</li> <li>site lighting for safety and security</li> </ul>	<ul style="list-style-type: none"> <li>park furniture</li> <li>play structures for school aged children</li> <li>all weather, multi-purpose, hard surfaced play area</li> <li>site lighting</li> </ul>	<ul style="list-style-type: none"> <li>park furniture</li> <li>playfields, tennis courts</li> <li>bleachers</li> <li>storage for sports and maintenance equipment</li> <li>public washrooms</li> <li>picnic facilities</li> <li>site lighting</li> </ul>

## APPENDIX E

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### **SAMPLE PATHWAYS & TRAIL DESIGN GUIDELINES**

# 5. Design Standards and Maintenance

It is important that the development of all trails and pathways within the Town of Black Diamond follow these standards. Furthermore, the Town should only develop trails and pathways if funding is also in place to maintain the pathways.

## 5.1 TRAIL STANDARDS

Numerous surface treatment options are available for natural pathways. Possibilities include compacted soil, wood mulch, shale, or some form of crushed gravel. The standard width of a natural pathway is 1.5 meters with a 0.5 meter clearance on both sides of the path. Rehabilitation with topsoil and seed should also occur within a minimum of a 0.5 meter distance on either side of the path after construction is complete. A vertical clearance of 2.1 to 2.4 meters is recommended requiring clearing and pruning of trees as required within this vertical and horizontal zone (*refer to Exhibit 5.1: Natural Pathway Detail*). The natural pathway location should be reviewed on a site-by-site basis and aligned to minimize the amount of disturbance to the existing trees and natural environment.

Natural trails or pathways require annual maintenance and should be inspected throughout the year to ensure the surface is safe for pedestrians. As part of the annual maintenance trails should be inspected to identify areas requiring repair. Typical maintenance on this standard of trail would include some minor re-grading and top lift of the surface treatment (soil, gravel, shale, etc.) and compaction to achieve a consistent level surface.

## 5.2 PATHWAY STANDARDS

There are two acceptable widths for asphalt pathways: 2.0 meters and 2.5 meters. The width of the pathway should be determined on a site-by-site basis, depending on available space and hierarchy of pathway required. Asphalt pathways are to have a 1.0 meter clearance on both sides of the path with a vertical clearance of 2.5 meters. Clearing and pruning of trees within these clearances is required. A minimum of a 1.0 meter distance on either side of the path will need to be rehabilitated with topsoil and seed once construction of the pathway is complete. The asphalt pathway should be aligned to minimize the amount of disturbance to the environment (*refer to Exhibit 5.2.1: 2.5m Width Asphalt Pathway Detail and Exhibit 5.2.2: 2.0m Width Asphalt Pathway Detail*).

## 5. Design Standards and Maintenance

Maintenance for paved pathways should include annual inspections to identify any failure, damage, or rehabilitation required. Based on hierarchy and available maintenance budgets, it is our recommendation that all paved pathways remain clean and clear of debris to allow year round accessibility for all users.

### 5.3 SIDEWALK STANDARDS

All sidewalks are to be constructed of concrete. Currently, the existing sidewalks within the Town tend to vary in width. To achieve some consistency in the design and construction of concrete sidewalks the Town of Black Diamond needs to adopt some standard specifications. It is our recommendation that the Town consider the following options for concrete sidewalks:

- One option is a 1.4 meter-wide separate sidewalk. The separate sidewalk is the most desirable option and should be considered along major roadways or collector roads where boulevard room permits and also along residential roadways identified as secondary pathway routes. Separate sidewalks should also be required in any future developments and allow for boulevard landscaping in order to create a desirable streetscape along collector roads (*refer to Exhibit 5.3.1: 1.4m Separate Sidewalk Detail*).
- A second option is a 1.5 meter monolithic sidewalk. This type of concrete walk should be implemented along residential streets and should connect residential blocks continuously along at least one side of the road and also where boulevard room does not permit. Upgrades to existing sidewalk should be considered when concrete has deteriorated into an unsafe condition, a connection between pedestrian is required or when budget allows (*refer to Exhibit 5.3.2: 1.5m Monolithic Sidewalk Detail*).



Wheelchair ramps should be incorporated at all intersections where a separate sidewalk, monolithic sidewalk or paved surface exists.

Maintenance inspections for concrete walkways should be completed annually with primary and secondary pedestrian routes budgeted for regular clearing of snow and debris.

# 5. Design Standards and Maintenance

## 5.4 MARKINGS

Different pavement markings required for the Town of Black Diamond Trail System include: crosswalk lines, stop lines, and pathway centre lines and/or directional lines. All lighted pedestrian and future pedestrian crossings should have crosswalk lines. Crosswalk lines are also required at major intersections (for example, Government Road and Centre Avenue) where no lights exist. Stop lines should also be added at every pedestrian crossing location. All asphalt pathways are to have a yellow painted centre line. Pavement markings should be inspected annually and maintained on an as required basis when deterioration occurs. Pavement markings should be designed in accordance with the standards in Division C1 of the Manual of Uniform Traffic Control Devices for Canada. Additional design standards can be found in the guide 'Bikeway Traffic Control Guidelines for Canada' (refer to *Exhibit 5.4: Pavement Markings*).

## 5.5 SIGNAGE

Signage is an integral part of an overall trail and pathway system and should be used to provide information to users while on the pathway system. Signage can be utilized in a number of ways and not limited to the following:

- Directional signage guiding users on the pathway system to various destination points or points of interest;
- Location maps indicating position of user on the pathway system;
- Historical, cultural and interpretive signage informing the pathway users;
- Safety signage in terms of crosswalks, stop signs, grade changes and directions.



Location maps should be incorporated at all entrances, pathway trail hubs and main intersections within the Town. Location maps should include an overall map of the Black Diamond Trail System, showing pathway locations, pathway surfacing, pathway lengths and destination points within the Town.

Educational or interpretive information about Black Diamond may also be included on the location maps. Interpretive signs are to be located at numerous areas of interest

# 5. Design Standards and Maintenance

identified within the Town of Black Diamond. The signs are to include informative and educational text and photos regarding the focal point (*refer to Exhibit 5.5.1: Examples of Location Maps and Interpretive Signage*).

Directional signage should be located at trailheads and intersections. The directional signs will indicate the distance and direction of the path ahead. Additional signage may be used if desired. Signs such as 'Automobiles Prohibited', 'Littering Prohibited', and 'Shared Pathway' may be placed at trailheads and reviewed on a site-by-site basis. Warning signage along roads, such as 'Pedestrian and Bicycle Crossing Ahead', is strongly recommended (*refer to Exhibit 5.5.2: Signage Examples*). All signage shall adhere to standards set out in the Manual of Uniform Traffic Control Devices for Canada. The design of the signage once determined by the committee overseeing trails and pathways development should be set as a standard.

## 5.6 INTERSECTIONS

The placement/design of intersections is an important element to ensure the safety of all pathway users. Intersections should have a minimum sight triangle to provide a totally unobstructed view for 11.5m (45') from the intersection of the edge of pavement when measured from a height of 0.6m (2') to 1.5m (5'). Tree trunks are considered an obstruction, however low shrubs that are below 0.6m are permitted (*refer to Exhibit 5.6 Visible Sight Triangle at Intersections*).

### 5.6.1 RELOCATION

Consideration should be made for relocation of existing pedestrian crossings to a location of higher use or as dictated by pedestrian movement. Flashing pedestrian crossings should always be located at major intersections where vehicles are required to slow down. It is imperative that pathways line up directly across from each other at an intersection. Mid-block crossings should be avoided if possible or clearly identified for the safety of the pedestrian.

# 5. Design Standards and Maintenance

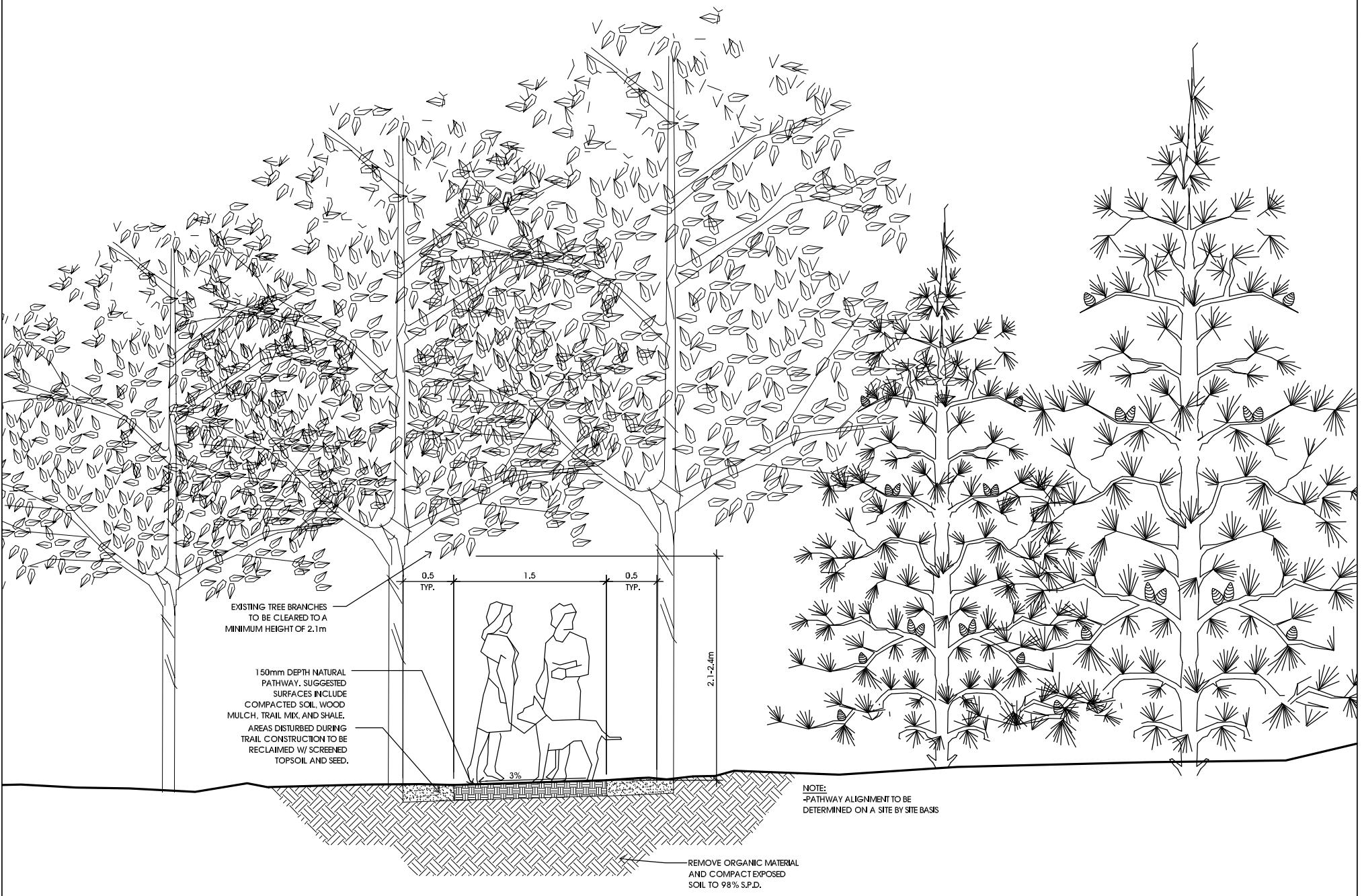
## 5.6.2 SIGNAGE

All intersections should be properly marked with signage and/or pavement markings. Warning signs, pedestrian crossing lights, and stop lines should be added to the road notifying drivers of an important intersection or pedestrian crossing ahead. It is also recommended that warning signage be placed along the pathways indicating an intersection ahead.

## 5.7 ACCESSIBILITY



The Trails and Pathway System for Black Diamond is designed as a looped system to provide accessibility for all user groups. The proposed asphalt and concrete pathways are to accommodate all user groups, making it possible for strollers, wheelchairs, bicycles, and pedestrians etc. to access the pathway system. Wheelchair ramps are to be provided at all corners to ensure accessibility of all users. The natural pathways accommodate some user groups and are easily accessible, branching off from the paved pathways. It is imperative that there be a smooth transition between varying trail surfaces.



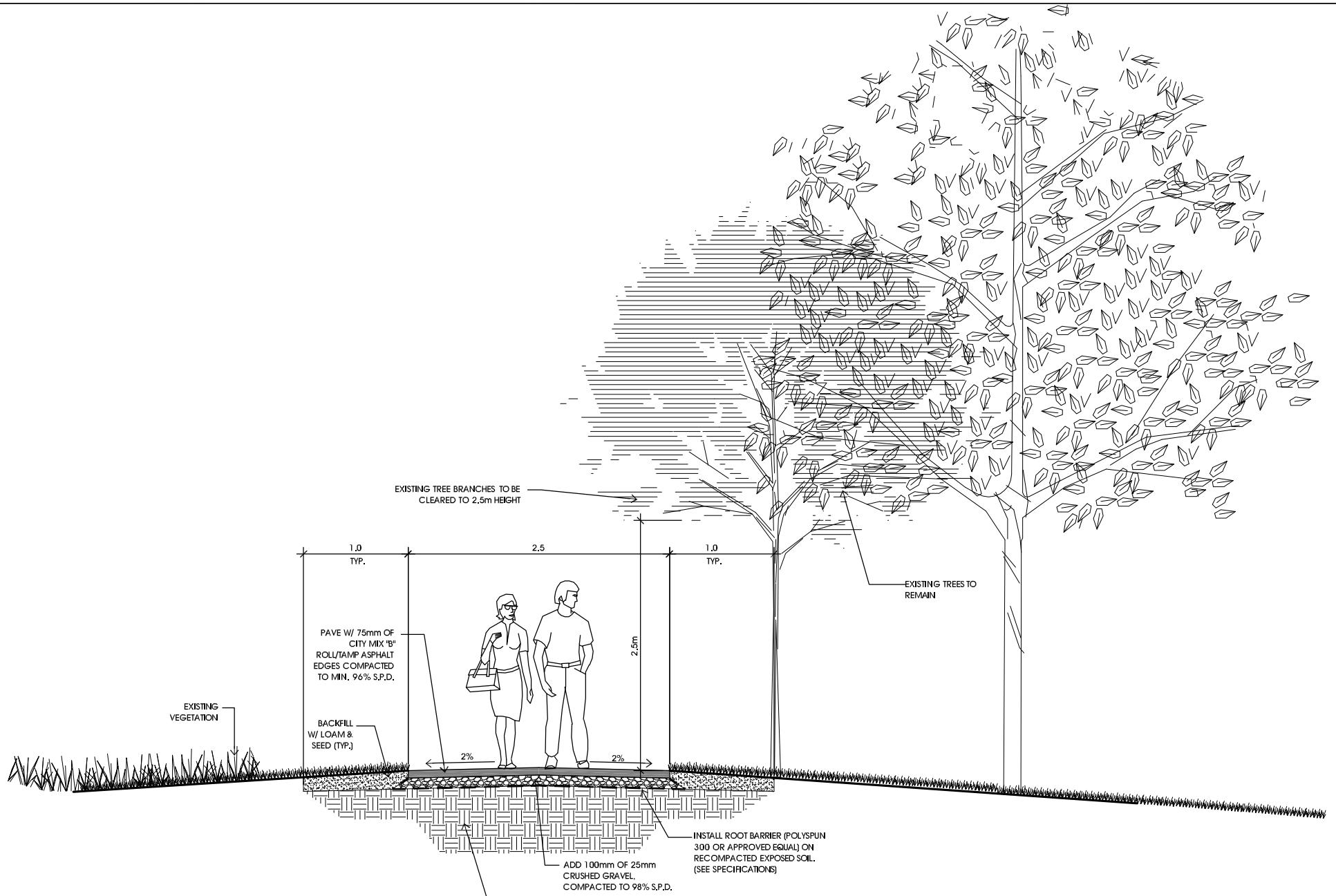
TOWN OF BLACK DIAMOND TRAILS AND PATHWAYS MASTERPLAN

EXHIBIT 5.1

NATURAL PATHWAY DETAIL

SCALE: 1:50





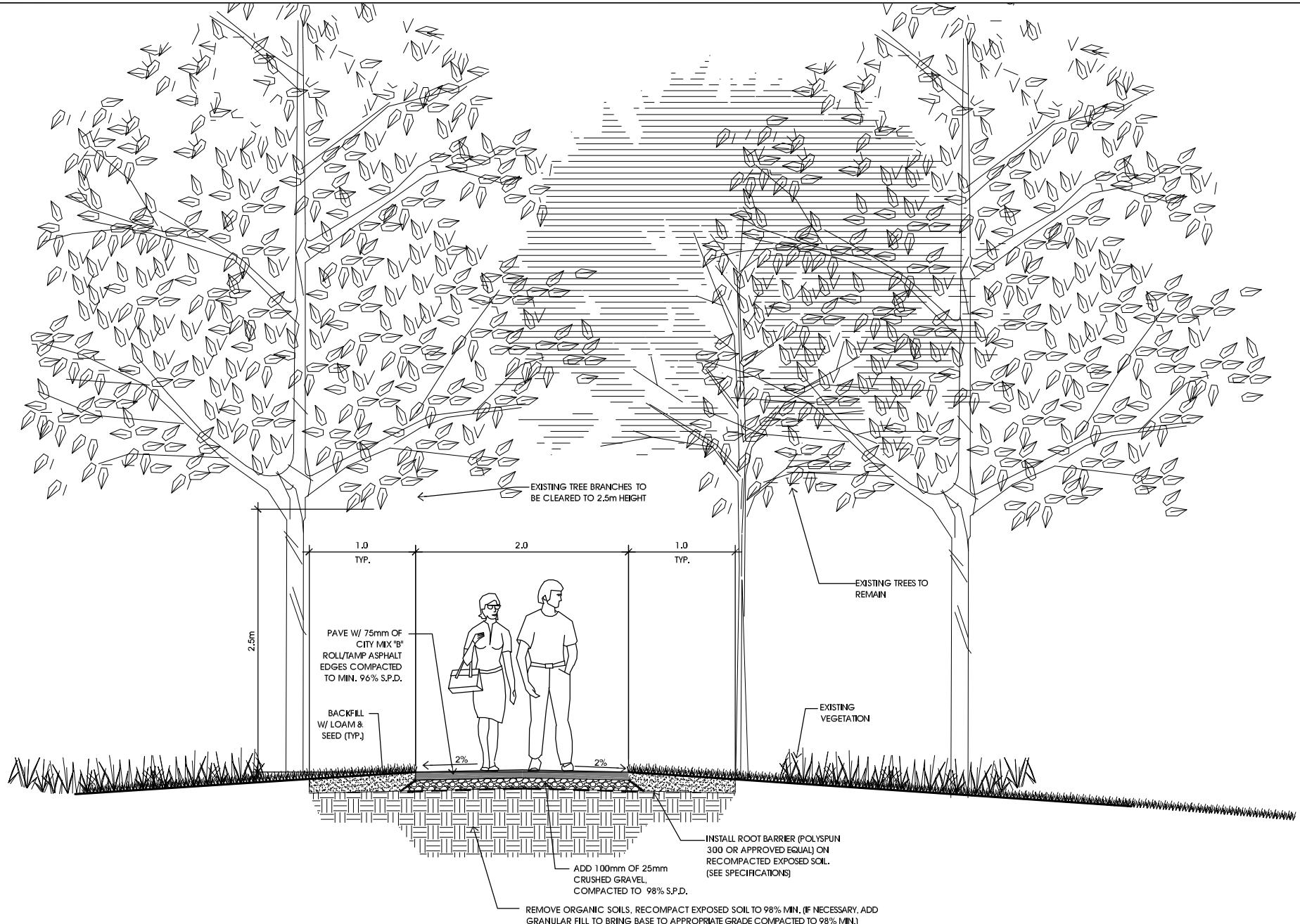
TOWN OF BLACK DIAMOND TRAILS AND PATHWAYS MASTERPLAN

EXHIBIT 5.2.1

2.5m WIDTH ASPHALT PATHWAY DETAIL

SCALE: 1:50





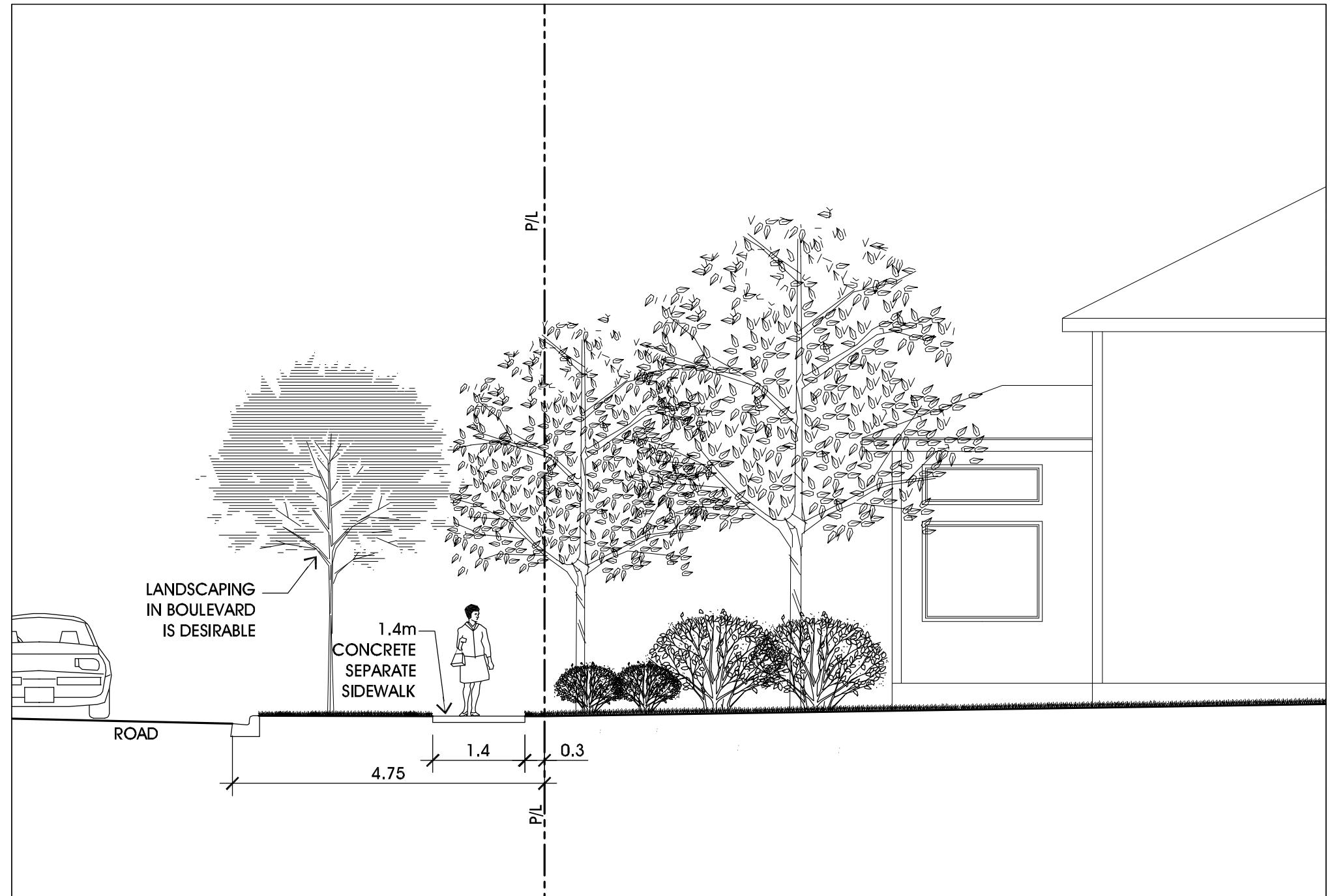
TOWN OF BLACK DIAMOND TRAILS AND PATHWAYS MASTERPLAN

EXHIBIT 5.2.2

2.0m WIDTH ASPHALT PATHWAY DETAIL

SCALE: 1:50





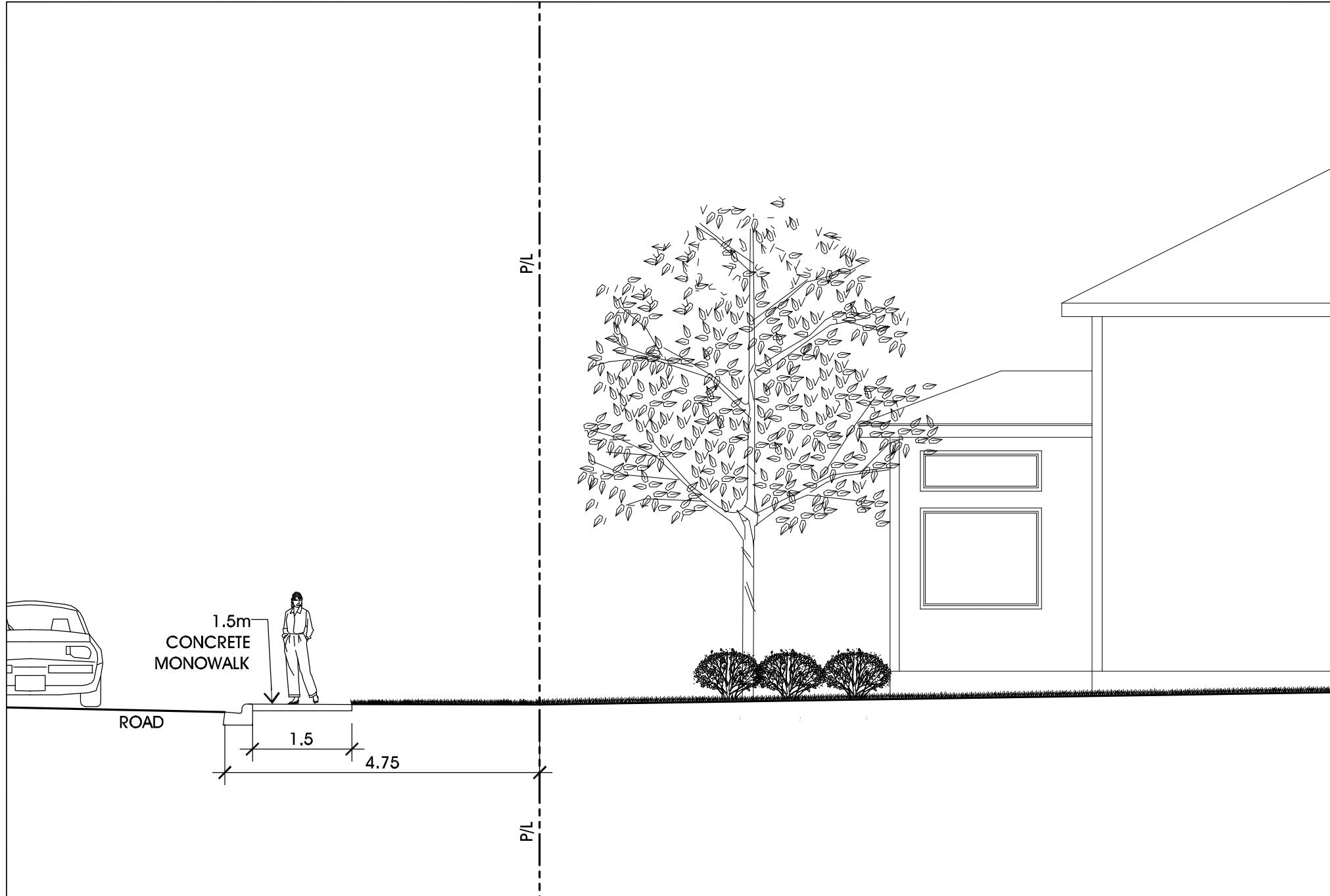
TOWN OF BLACK DIAMOND TRAILS AND PATHWAYS MASTERPLAN

EXHIBIT 5.3.1

1.4m SEPARATE SIDEWALK DETAIL

SCALE: 1:75





TOWN OF BLACK DIAMOND TRAILS AND PATHWAYS MASTERPLAN

EXHIBIT 5.3.2

1.5m MONOLITHIC SIDEWALK DETAIL

SCALE: 1:75

